

1109 CONGRESS STREET, NE

WASHINGTON, D.C.
SQUARE 748 – LOTS 78 AND 819

PUD SUBMISSION

June 7, 2016

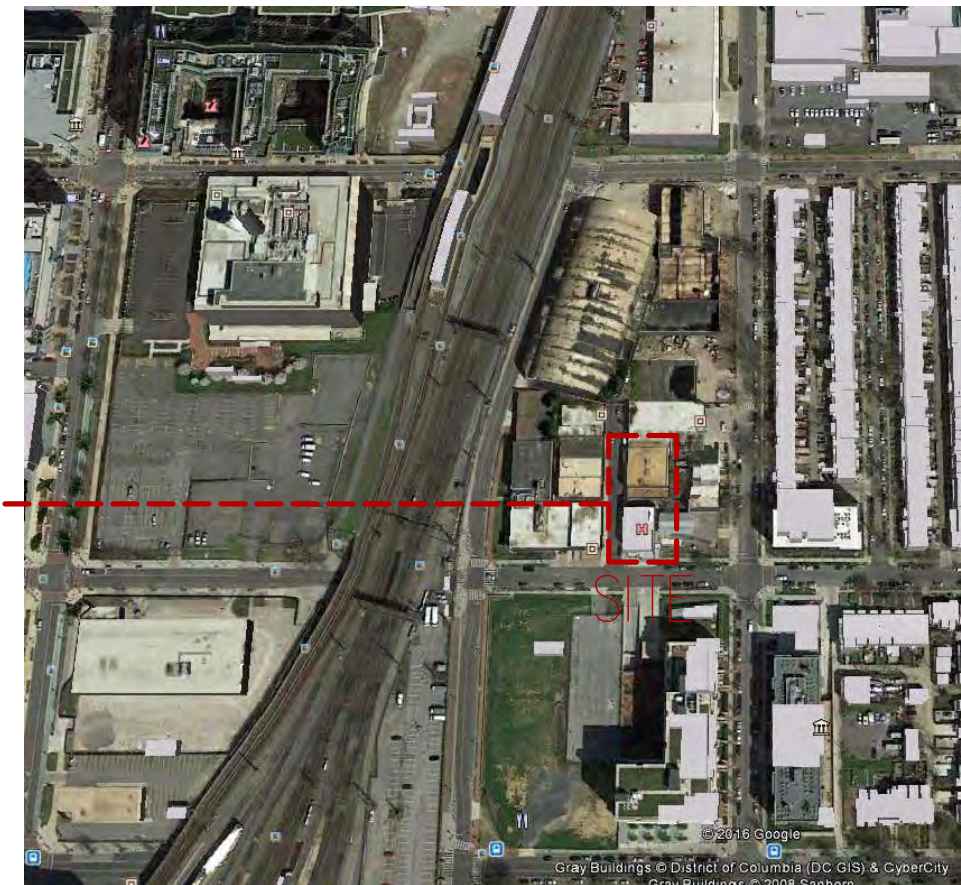
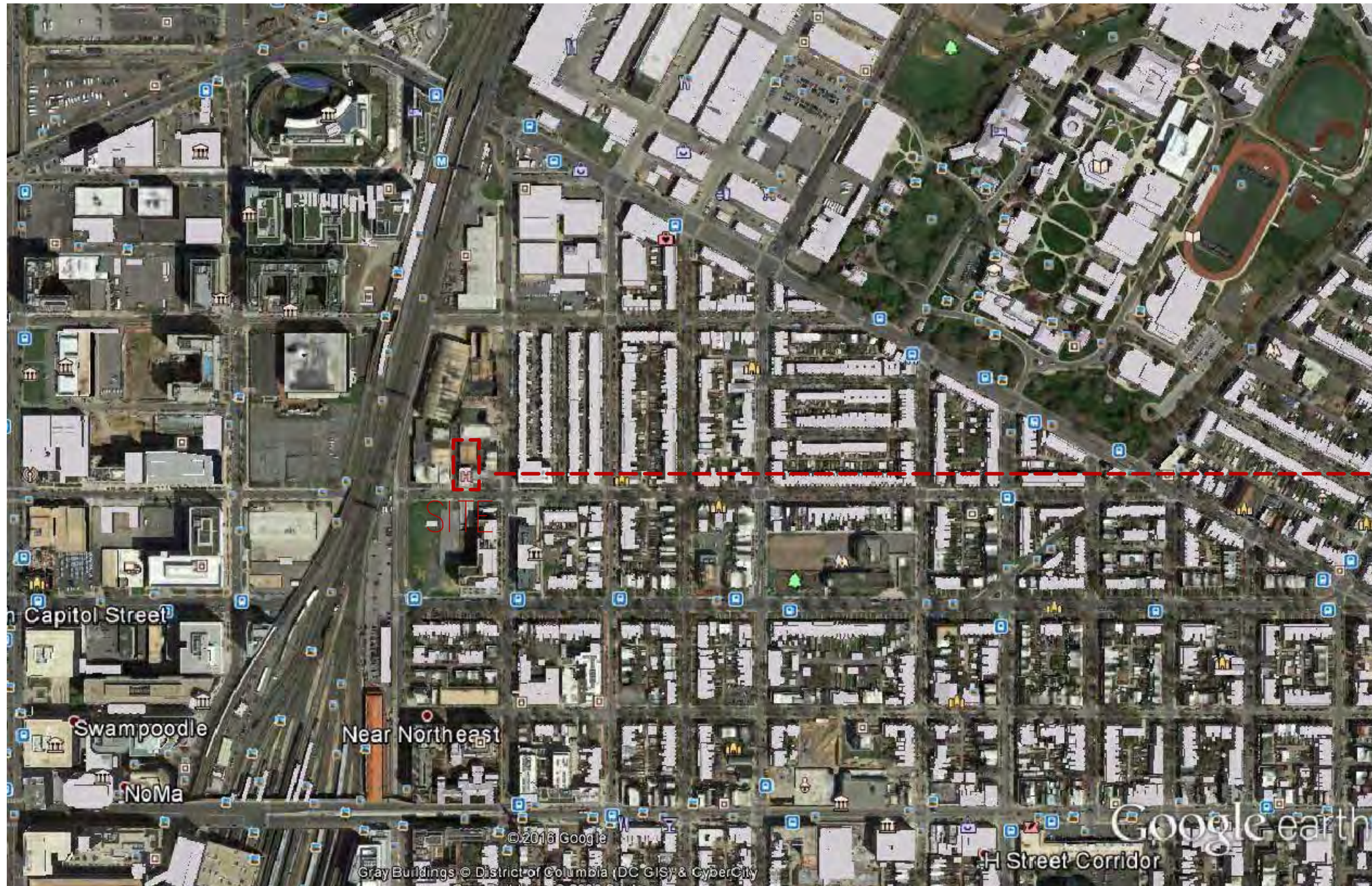
Developer J STREET DEVELOPMENT COMPANY, LLC
Architect NELSON ARCHITECTS, PC
Landscape Architect AMT, LLC
Traffic Engineer GOROVE/SLADE
Civil Engineer AMT, LLC
LEED Consultant SUSTAINABLE DESIGN CONSULTING
Land Use Counsel CASTRO, HAASE & BROWN PLLC



SHEET INDEX

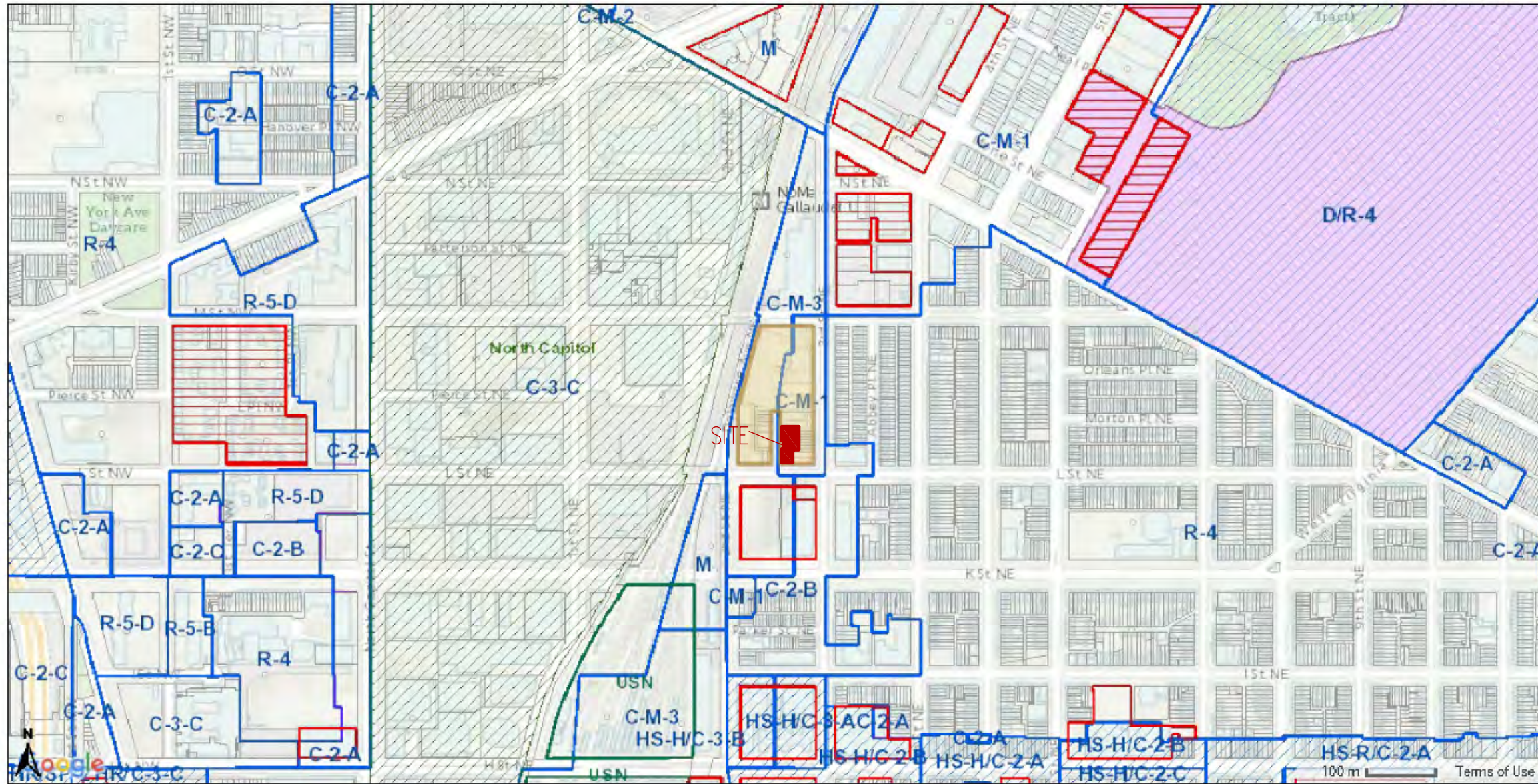
NO.	TITLE	DCMR 11 ref	NO.	TITLE	DCMR 11 ref
	SITE INFORMATION			BUILDING SECTIONS	
A1.01	SHEET INDEX		A5.01	LONGITUDINAL SECTION @ GARAGE RAMP	2406.12 (e)
A1.02	PUD CHECK LIST		A5.02	LONGITUDINAL SECTION	2406.12 (e)
A1.03	AERIAL PHOTO LOCATION MAP	2406.11 (b)	A5.03	CROSS SECTION @ LOBBY	2406.12 (e)
A1.04	ZONING MAP	2406.11 (b)			
A1.05	COMPREHENSIVE PLAN	2406.11 (b)		LANDSCAPE	
A1.06	ZONING TABULATIONS	2406.11 (e.1-3), 2406.12 (f.7)			
A1.07	NEARBY PRECEDENTS	2406.11 (b)	L6.01	LANDSCAPE PLAN – COMPOSITE	2406.12 (d)
A1.08	LEED SCORECARD	2406.12 (f.7)	L6.02	PLANT MATERIALS	2406.12 (g)
A1.09	SITE AERIAL VIEWS	2406.11 (b)			
A1.10	SITE PHOTOS	2406.11 (b)		SITE	
A1.11	SURVEYOR’S PLAT	2406.11 (b)	C7.01	CIVIL – EXISTING CONDITIONS PLAN	2406.11 (e.5)
A1.12	CONTEXT – 3D MASSING	2406.11 (b)	C7.02	CIVIL – DEMOLITION PLAN	2406.12 (d)
			C7.03	CIVIL – SITE PLAN	2406.12 (d)
	BUILDING PERSPECTIVES		C7.04	CIVIL – UTILITY PLAN	2406.12 (c)
A2.01	RENDERING – SOUTH & WEST FACADES	2406.12 (g)	C7.05	CIVIL – SEDIMENT and EROSION CONTROL PLAN	2406.12 (d)
			C7.06	CIVIL – STORM WATER MANAGEMENT PLAN	2406.12 (d)
	BUILDING PLANS		T7.07	TRAFFIC – SITE CIRCULATION PLAN	2406.11 (e.4), 2406.12 (f)
A3.01	LEVEL B1	2406.12 (e)	T7.08	TRAFFIC – INBOUND TRUCK RUN	2406.12 (f)
A3.02	LEVEL 01	2406.12 (e)	T7.09	TRAFFIC – OUTBOUND TRUCK RUN	2406.12 (f)
A3.03	LEVEL 02	2406.12 (e)			
A3.04	LEVEL 03	2406.12 (e)			
A3.05	LEVEL 04 through 08	2406.12 (e)			
A3.06	PENTHOUSE	2406.12 (e)			
A3.07	ROOF	2406.12 (e)			
	BUILDING ELEVATIONS				
A4.01	WEST ELEVATION (CONGRESS STREET)	2406.12 (e)			
A4.02	NORTH and SOUTH (L STREET) ELEVATIONS	2406.12 (e)			
A4.03	EAST ELEVATION (ALLEY)	2406.12 (e)			
A4.04	EXTERIOR MATERIALS	2406.12 (e)			

PUD CHECKLIST		SECTION	ITEM	SHEET NUMBER	SECTION	ITEM	SHEET NUMBER
	2406.11(a)		Complete application form(s)	In Written Application	2406.12(a)	Complete application form(s)	In Written Application
	2406.11(b)		Map showing the location of the proposed project, the existing zoning for the subject site, the zoning of adjacent properties, and any proposed change of zoning	A1.03, A1.04	2406.12(b)	Detailed statement as to the uses to be located in the project, including the location, number, size, & types of stores, offices, residential, institutional, industrial, & other uses	In Written Application
	2406.11(c)		Statement of the purposes & objectives of the project, including the proposed form of development & a detailed statement elucidating how the application meets the PUD evaluation standards in Section 2403	In Written Application	2406.12(c)	Detailed site plan, showing the location & external dimensions of all buildings & structures, utilities & other easements, walkways, driveways, plazas, arcades, & any other open spaces	C7.03
	2406.11(d)		General site, landscape, & development plan indicating the proposed use, location, dimensions, number of stories, & height of each building, & the exact area of the total site	C7.03	2406.12(d)	Detailed landscaping & grading plan, showing all existing contour lines, including graphic illustration of grades exceeding 15% in 5% increments, landscaping to be retained, grades, planting, & landscaping. The plan shall also show the proposed drainage for the site, including the location of buildings, roads, sidewalks, water & sewer lines, inlets, & basins, & connections to public water & sewer lines. Proposed erosion control measures shall also be shown	L6.01, C7.03
	2406.11(e)		Tabulation of development data showing the following:				
			(1) Area & dimensions of each lot proposed for each building & the exact area of the total site	A1.06			
			(2) Percentage of lot occupancy of each building on each lot & the total percentage of lot occupancy for all buildings on the entire site	A1.06	2406.12(e)	Typical floor plans & architectural elevations for each building, sections for each building & the project as a whole, & sections & elevations of the entire square within which the project is located	A3.01 – A5.04
			(3) Gross floor area & floor area ratio for each building on each lot, including a break-down for each use, & the total gross floor area & floor area ratio for all buildings on the entire site, including a breakdown for each use	A1.06	2406.12(f)	Final detailed circulation plan showing all driveways & walkways, including widths, grades, & curb cuts as well as detailed parking & loading plans	C7.03, T7.07
			(4) Circulation plan, including the location of all vehicular & pedestrian access ways & the location & number of all off-street parking spaces & loading berths, including an indication of which spaces are designated for which use	A3.01, T7.07	2406.12(g)	Other information needed to understand the final design of the proposal, or information specifically requested by the Commission	A1.12, A2.01
			(5) Existing topography of the development area; the location of all major natural features, including trees of six-inch caliper or greater; & the location & elevations of public or private streets, alleys, or easements bounding or traversing the site, including an indication of which of the rights-of-way or easements are to be continued, relocated, or abandoned	C7.01	2406.12(h)	Statement showing how the second-stage plans are in accordance with the intent & purposes of this title, the PUD process, & the first-stage approval	N/A this is a consolidated PUD application
			(6) Estimated quantities of potable water required by the project, & of sanitary sewage & storm water to be generated, including the methods of calculating those quantities	C7.04			
		(7) Other information needed to understand the unique character & problems of developing the PUD	LEED A1.08				





District of Columbia Office of Zoning
EXTRACT OF THE DISTRICT OF COLUMBIA ZONING MAP
 June 6, 2016



Zoning Layers	
Zone Districts	Overlays Districts
Pending Zones	Pending Overlay Districts
Historic Districts	Pending Campus Plans
TDRs	Pending PUDs
Air Rights Zone	Active PUDs
Baist Index	CEA

To certify zoning on any property in order to satisfy a legal requirement, contact the Office of Zoning at (202) 727-6311.

ZONING TABULATIONS

SQUARE 748 LOTS 78 & 819

LOT AREA: 10,124 SF (incl. 612 SF closed alley)

	PERMITTED BY EXISTING ZONE DISTRICT: C-M-1	PERMITTED BY PROPOSED ZONE DISTRICT: C-2-B PUD	PROPOSED DEVELOPMENT: C-2-B PUD
FAR:	3.0	6.0 (6.0 residential; 2.0 commercial)	6.0 (5.64 residential; 0.36 PDR)
FAR AREA:	30,372 sf	60,744 sf	60,744 sf (57,064 sf residential; 3,680 sf PDR)
BUILDING HEIGHT:	40 ft	90 ft	90 ft
NUMBER OF STORIES:	3	No limit	8
LOT OCCUPANCY:	n/a	80% residential; 100% other	79% @ levels 4-8; 76% @ level 3; 88% @ level 2
REAR YARD:	None required for first 20 ft of building's height; Minimum depth of 2.5 in/ft of building height and not less than 12 ft	15 ft Up to 20 ft plane can be measured to center line of alley	9'-7" below 20 ft plane; 5'-3" above 20 ft plane
SIDE YARD:	None required	None required; if provided, minimum width is 2 in/ft of building height and not less than 6 ft	None
OPEN COURT:	None required	min. width is 4 in/ft of building height and not less than 15 ft; open courts #1 and #2 = 22 ft	#1 open court = 15 ft; #2 open court = 15 ft
CLOSED COURT:	None required	None required	n/a
ROOF STRUCTURES:			
FAR (habitable space):	0.4	0.4	0.38
HEIGHT (habitable space):	12 ft	20 ft	12 ft
HEIGHT (mechanical space):	15 ft	20 ft	18'-6"
STORIES:	1; 2nd permitted for PH mechanical space	1 plus mezzanine; 2nd permitted for PH mechanical space	2
PARKING:			
RESIDENTIAL:	n/a (Residential use not permitted)	1 per 3 dwelling units	23 required; 16 spaces provided
RETAIL:	In excess of 3,000 sf 1 per additional 300 sf	In excess of 3,000 sf 1 per additional 750 sf	
BICYCLES:		1 per 3 dwelling units	21 required; 42 provided
LOADING:			
RESIDENTIAL:	n/a (Residential use not permitted)	1 loading berth @ 55' deep + 1 loading platform @ 200 sf + 1 delivery space @ 20' deep	1 berth at 24 ft;
PDR:	None required	None required	
INCLUSIONARY ZONING:	n/a (Residential use not permitted)	8% of residential GFA	8%
GAR:	0.30	0.30	0.30

300 M St. NE
 425 units
 10,000 SF retail
 Construction - late 2016
 Delivery - late 2018



Uline Arena
1140 3rd St. NE
 170,000 SF – office
 70,000 SF – retail
 Under construction

Central Armature
1200 3rd St. NE
 450 units – rental
 200 units – condo
 50,000 SF – retail
 Pending development

301 - 331 N St. NE
 301 N : retail and office
 331 N: 94 units
 213 units
 Hotel - 175 rooms
 Retail - not specified
 Pending development



Storey Park
1005 First St. NE
 300 units; 350,000 SF office
 65,000 SF retail
 Pending development



200 K St. NE
 14 story; 525 units
 16,000 SF retail
 Pending development



Pullman Building
911 2nd St. NE
 4 story; 42 units
 Under construction
 Delivery - late 2016



LEED® 2009 for New Construction and Major Renovation

Project Checklist

Scorecard for Planned Unit Development Application



Congress Street NE

J Street Companies

June 6, 2016

22 1 3 Sustainable Sites Possible Points 26

Y	?Y	?N	N			
Y				Prereq 1	Construction Activity Pollution Prevention	
1				Credit 1	Site Selection	1
5				Credit 2	Development Density & Community Connectivity	5
			1	Credit 3	Brownfield Redevelopment	1
6				Credit 4.1	Alternative Transportation: Public Transportation Access	6
1				Credit 4.2	Alternative Transportation: Bicycle Storage & Changing Rooms	1
3				Credit 4.3	Alternative Transportation: Low Emitting & Fuel Efficient Vehicle	3
2				Credit 4.4	Alternative Transportation: Parking Capacity	2
			1	Credit 5.1	Site Development: Protect or Restore Habitat	1
1				Credit 5.2	Site Development: Maximize Open Space	1
1				Credit 6.1	Stormwater Design: Quantity Control	1
		1		Credit 6.2	Stormwater Design: Quality Control	1
1				Credit 7.1	Heat Island Effect: Non-Roof	1
1				Credit 7.2	Heat Island Effect: Roof	1
			1	Credit 8	Light Pollution Reduction	1

6 1 3 Water Efficiency Possible Points 10

Y	?Y	?N	N			
Y				Prereq 1	Water Use Reduction: 20% Reduction	
4				Credit 1	Water Efficient Landscaping	4
			2	Credit 2	Innovative Wastewater Technologies	2
2		1	1	Credit 3	Water Use Reduction: 30%/ 35%/ 40%	4

11 2 22 Energy & Atmosphere Possible Points 35

Y	?Y	?N	N			
Y				Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y				Prereq 2	Minimum Energy Performance	
Y				Prereq 3	Fundamental Refrigerant Management	
4	2		13	Credit 1	Optimize Energy Performance: 8% and up	19
			7	Credit 2	On-Site Renewable Energy: 1%-13%	7
2				Credit 3	Enhanced Commissioning	2
2				Credit 4	Enhanced Refrigerant Management	2
1			2	Credit 5	Measurement & Verification	3
2				Credit 6	Green Power	2

6 8 Materials & Resources Possible Points 14

Y	?Y	?N	N			
Y				Prereq 1	Storage & Collection of Recyclables	
			3	Credit 1.1	Building Reuse: Maintain Existing Walls, Floors, and Roof	3
			1	Credit 1.2	Building Reuse: Maintain 50% of Interior Non-Structural Elements	1
2				Credit 2	Construction Waste Management: 50%/ 75%	2
			2	Credit 3	Materials Reuse: 5%/ 10%	2

Materials & Resources, Cont. Possible Points 15

Y	?Y	?N	N			
2				Credit 4	Recycled Content: 10%/ 20%	2
2				Credit 5	Regional Materials: 10%/ 20%	2
			1	Credit 6	Rapidly Renewable Materials: 2.5%	1
			1	Credit 7	Certified Wood: 50%	1

8 1 1 5 Indoor Environmental Quality Possible Points 15

Y	?Y	?N	N			
Y				Prereq 1	Minimum IAQ Performance	
Y				Prereq 2	Environmental Tobacco Smoke (ETS) Control	
			1	Credit 1	Outdoor Air Delivery Monitoring	1
			1	Credit 2	Increased Ventilation: 30%	1
1				Credit 3.1	Construction IAQ Management Plan: During Construction	1
1				Credit 3.2	Construction IAQ Management Plan: Before Occupancy	1
1				Credit 4.1	Low-Emitting Materials: Adhesives & Sealants	1
1				Credit 4.2	Low-Emitting Materials: Paints	1
1				Credit 4.3	Low-Emitting Materials: Flooring Systems	1
			1	Credit 4.4	Low-Emitting Materials: Composite Wood & Agrifiber Products	1
			1	Credit 5	Indoor Chemical & Pollutant Source Control	1
1				Credit 6.1	Controllability of Systems: Lighting	1
1				Credit 6.2	Controllability of Systems: Thermal Comfort	1
1				Credit 7.1	Thermal Comfort: Design	1
			1	Credit 7.2	Thermal Comfort: Verification	1
		1		Credit 8.1	Daylight & Views: Daylight 75% of Spaces	1
		1		Credit 8.2	Daylight & Views: Views for 90% of Spaces	1

6 Innovation & Design Process Possible Points 6

Y	?Y	?N	N			
1				Credit 1.1	User Education Plan	1
1				Credit 1.2	Water Saving Appliances	1
1				Credit 1.3	Exemplary: SSc4.1	1
1				Credit 1.4	Exemplary: SSc7.1	1
1				Credit 1.5	Low Mercury Lamps or EP: MRc4/MRc5/EAc6	1
1				Credit 2	LEED Accredited Professional	1

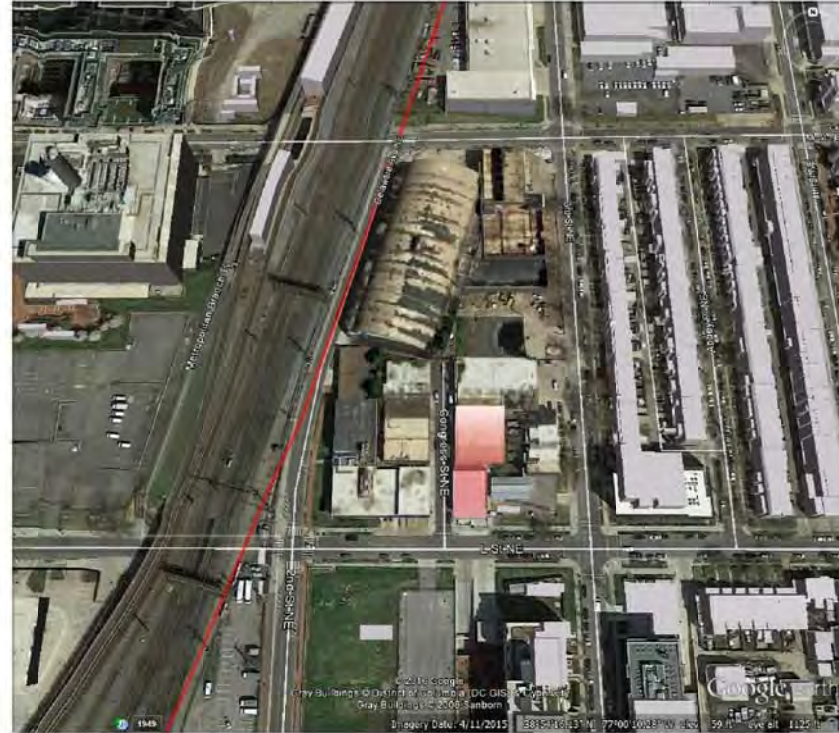
1 3 Regional Priority Credits Possible Points 4

Y	?Y	?N	N			
			1	Credit 1.1	SSc5.1: Protect or Restore Habitat	1
1				Credit 1.2	SSc6.1: Stormwater Design - Quantity	1
			1	Credit 1.3	WEc2: Add'l Indoor Plumbing Fixture & Fitting Efficiency	1
			1	Credit 1.4	EAc1: Optimize Energy Performance	1

60 3 3 44 Total Possible Points 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110 points

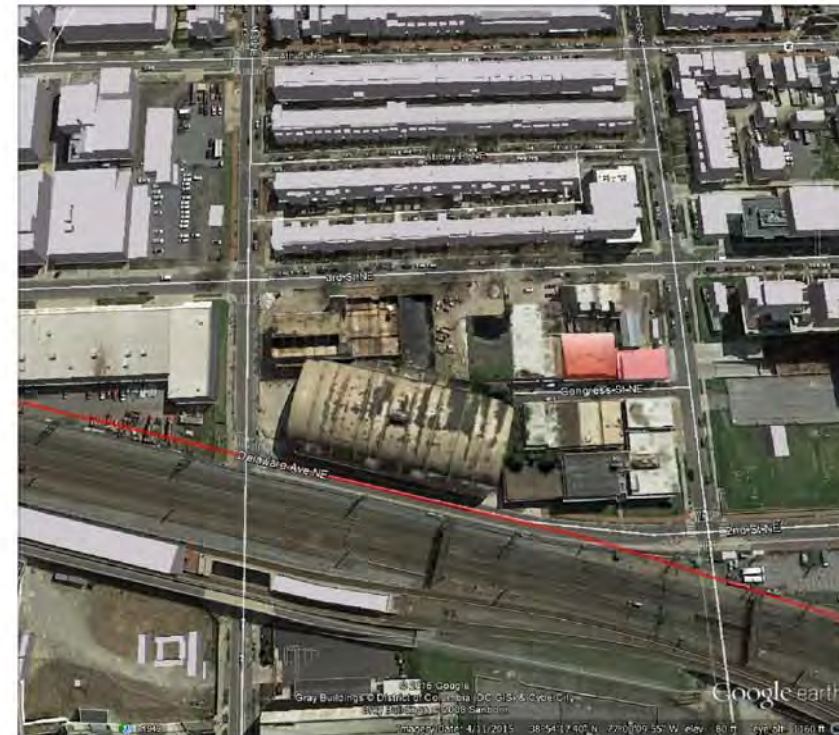
The project will incorporate sustainable design criteria to target LEED® for New Construction and Major Renovations (LEED-NC) 2009 certification at the Gold level. LEED certification at the target level requires compliance with the Minimum Program Requirements, all Prerequisites and between sixty (60) and seventy-nine (79) points. This scorecard projects points targeted to achieve certification at the Gold level. The applicant reserves the right to substitute credits/points to meet the threshold for Gold (60 points), should any of the above projected points not be feasible to pursue as the project advances through design and construction.



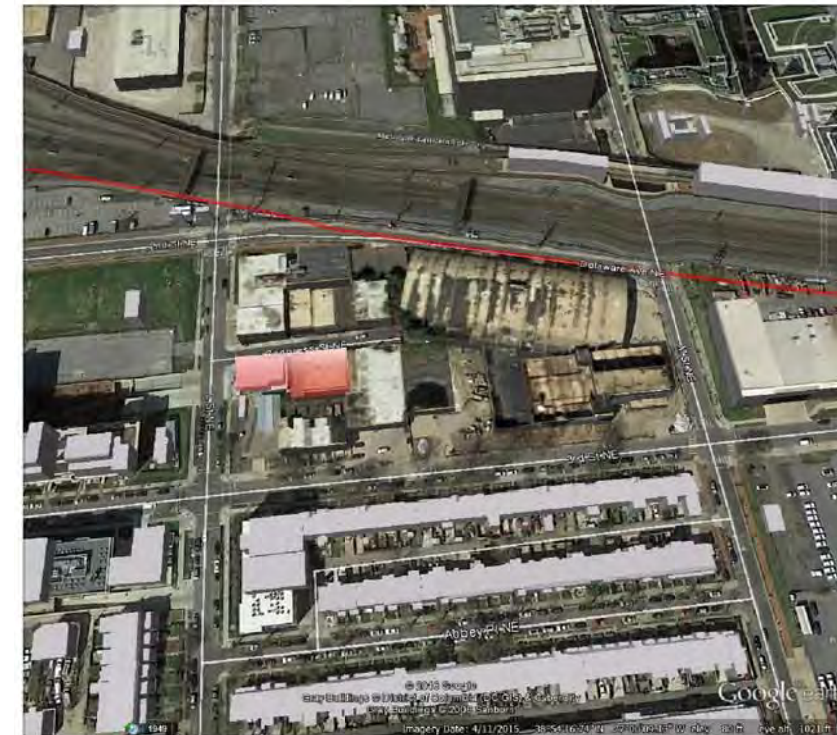
North—bird's eye view



South—bird's eye view



East—bird's eye view



West—bird's eye view





①



②



③



④



⑤



⑥

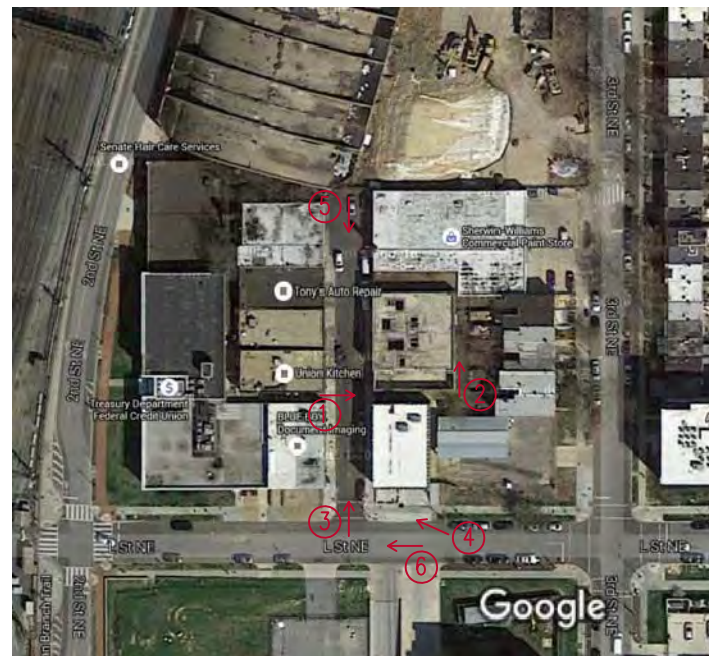


PHOTO KEY





J STREET
development
1025 THOMAS JEFFERSON ST
WASHINGTON, DC 20007

PERSPECTIVE
1109 CONGRESS STREET, NE
Washington DC

N NELSON
ARCHITECTS
1003 K STREET, NW
WASHINGTON, DC 20001

TEL 202.857.4300

JUNE 7, 2016 - PUD SUBMISSION

TEL 202.737.4800

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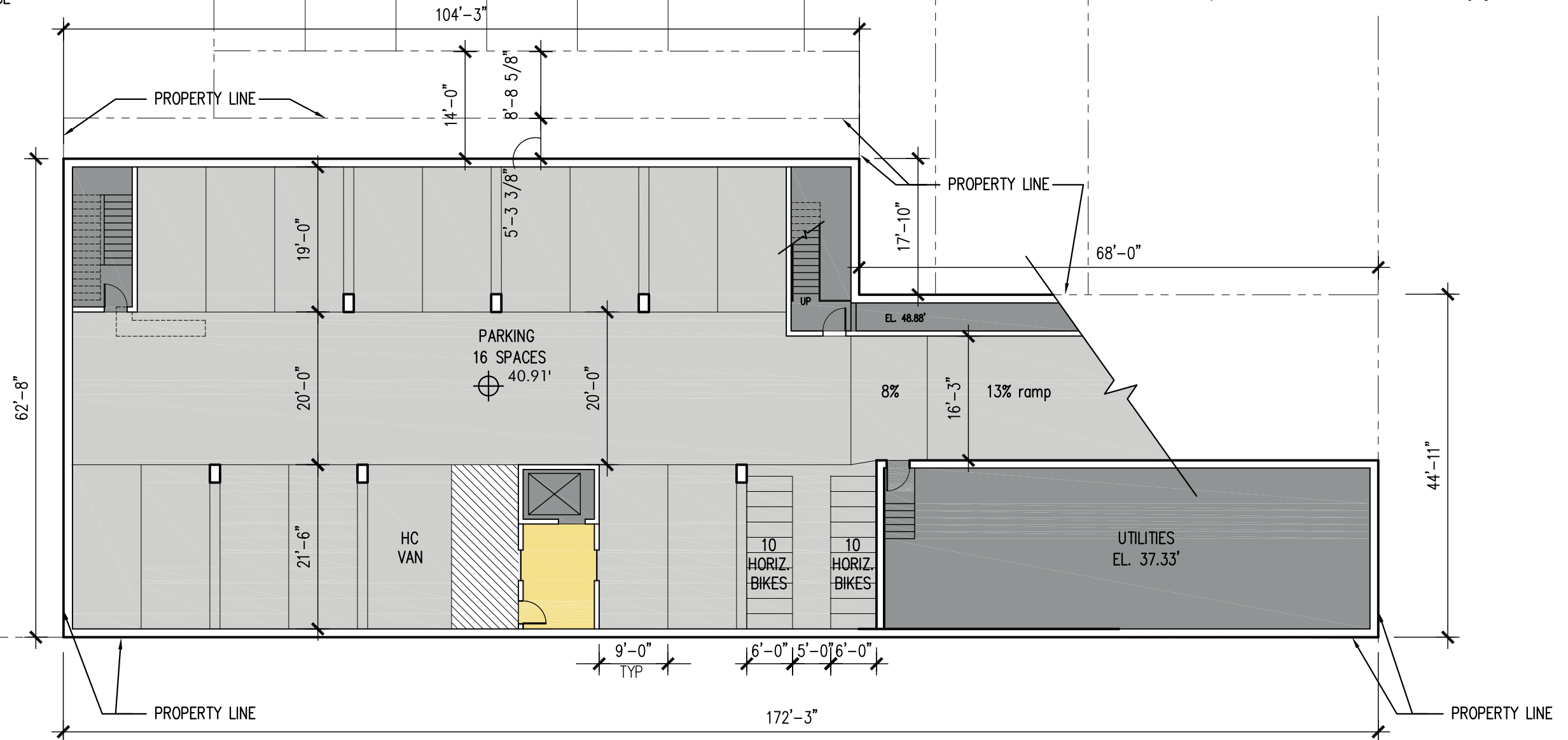
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KEY

- DWELLING UNITS
- COMMON AREA
- LOBBY/AMENITY
- RETAIL / PDR
- PARKING
- BUILDING SERVICE
- GREEN ROOF

GENERAL NOTES:

1. The locations, numbers, & sizes of units, stairs, elevators, & partitions are preliminary & shown for illustrative purposes only. Final layouts may vary.
2. Refer to A3.02 for overall building dimensions
3. Flexibility is requested to make refinements to parking & loading configurations, including layout, so long as the required parking & loading complies with the size, location, access, maintenance & operation requirements of 11 DCMR or the flexibility granted herein.

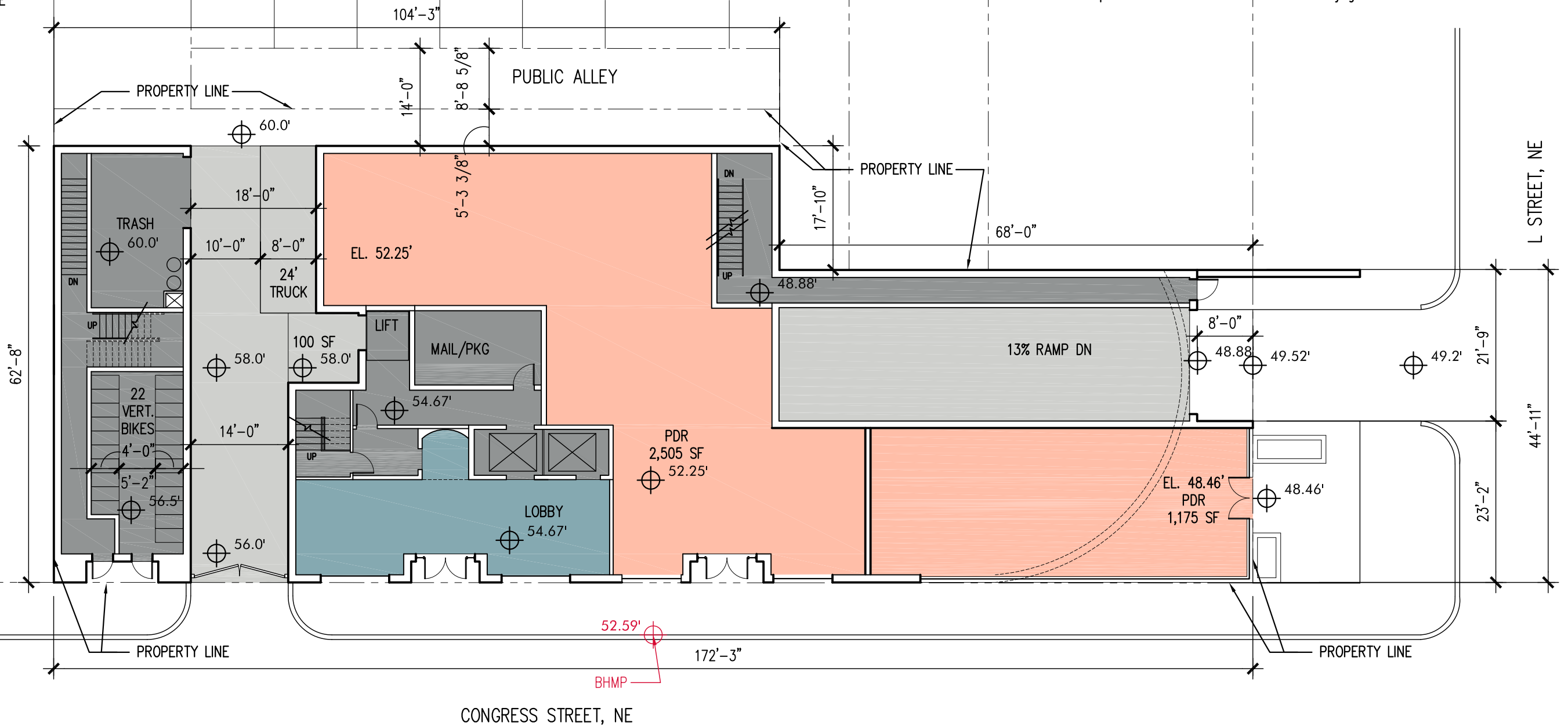


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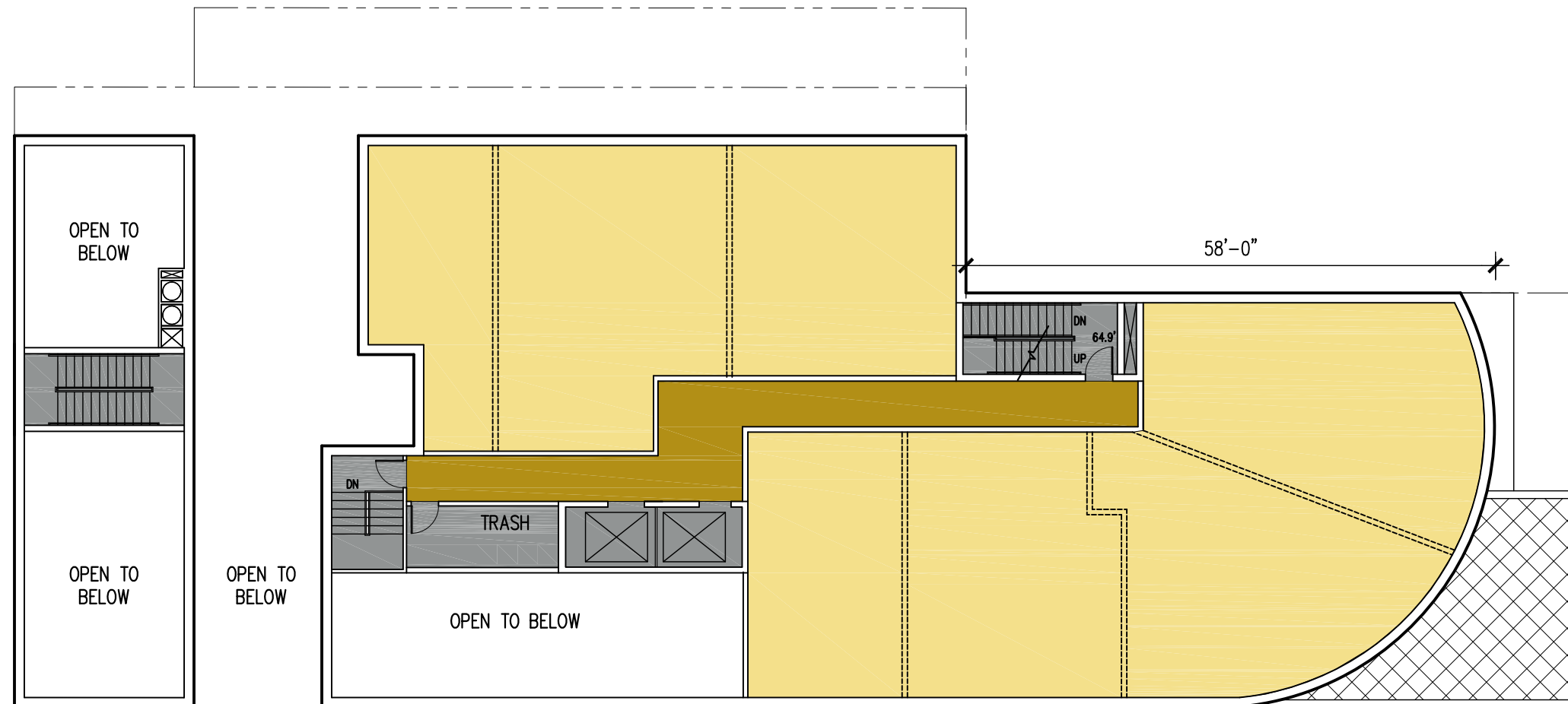


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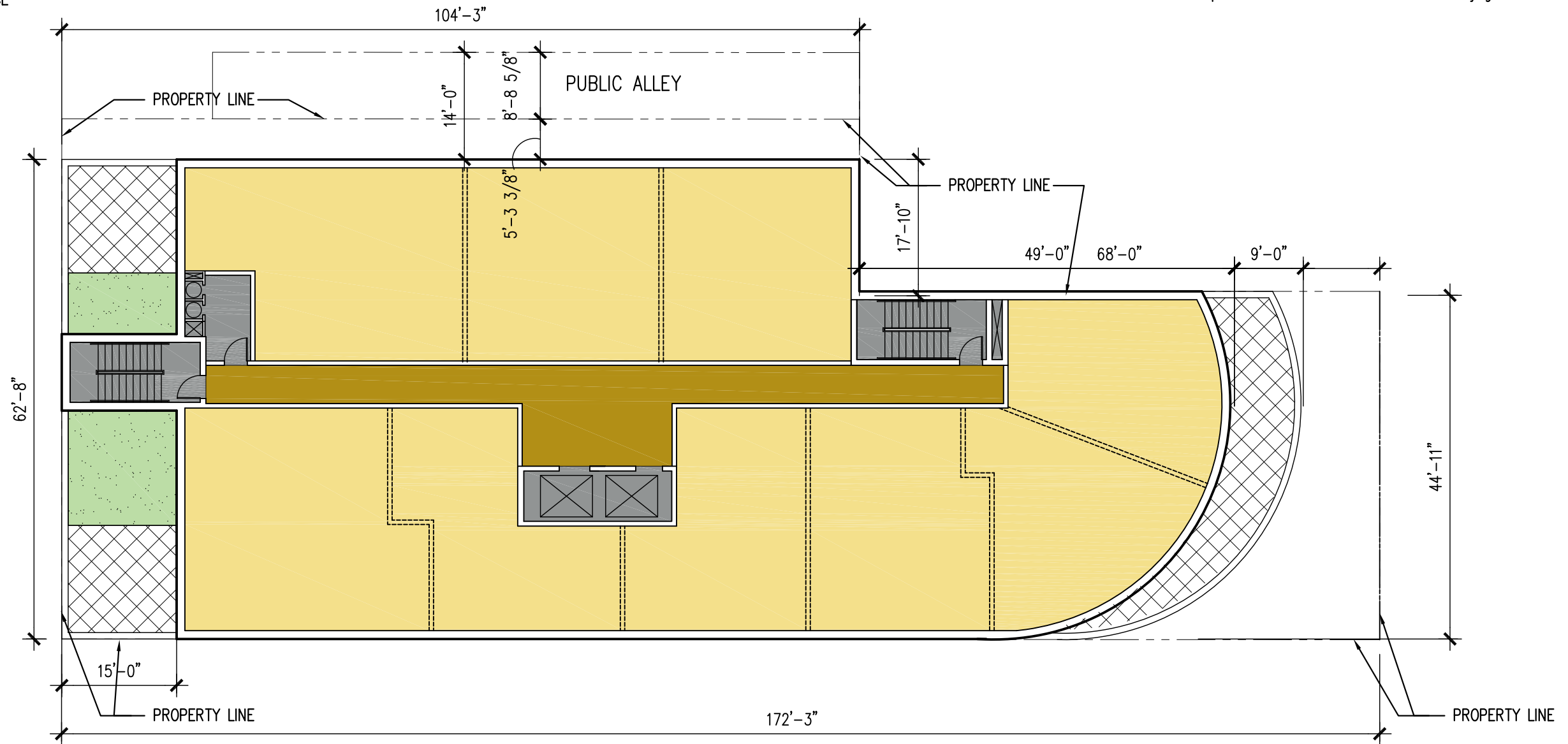


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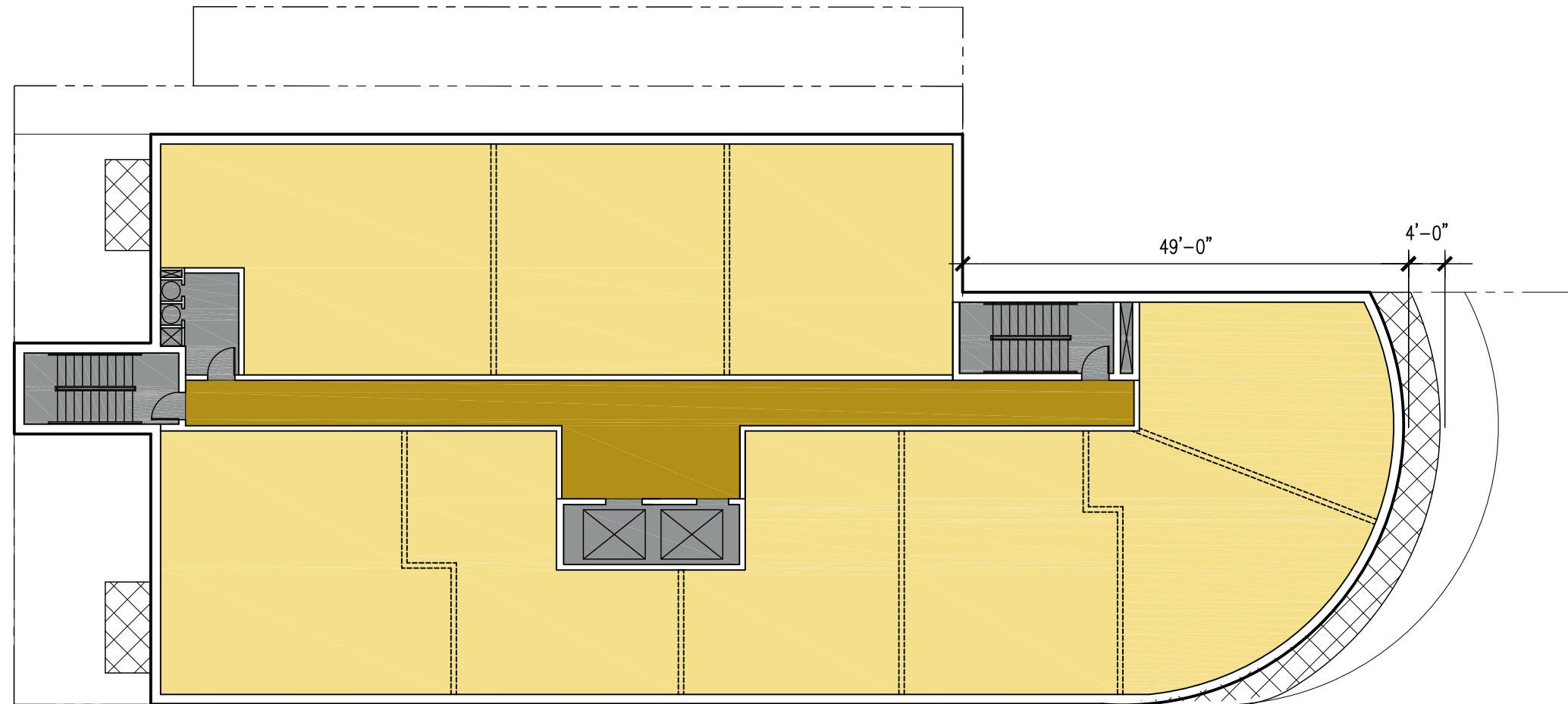


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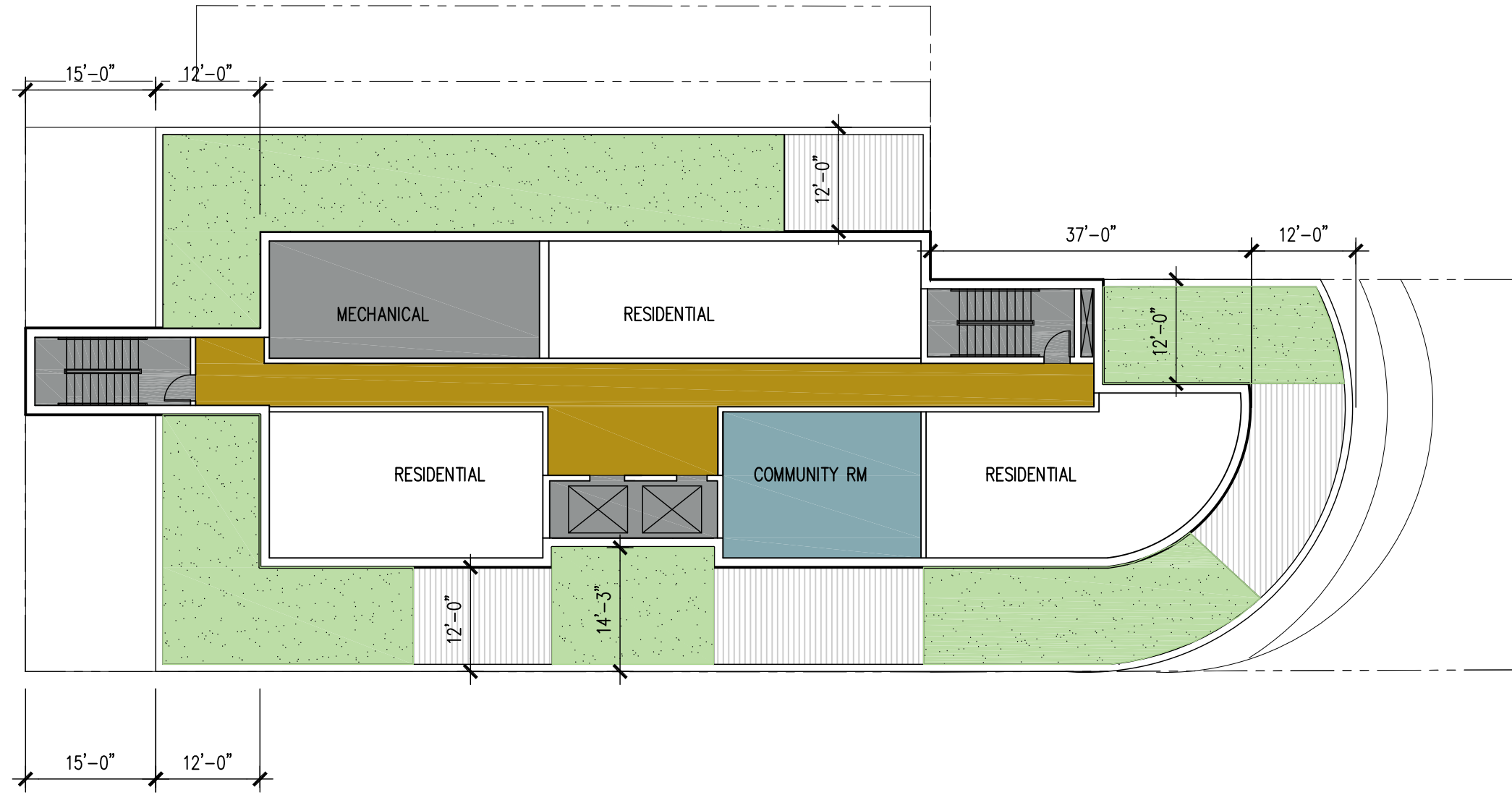


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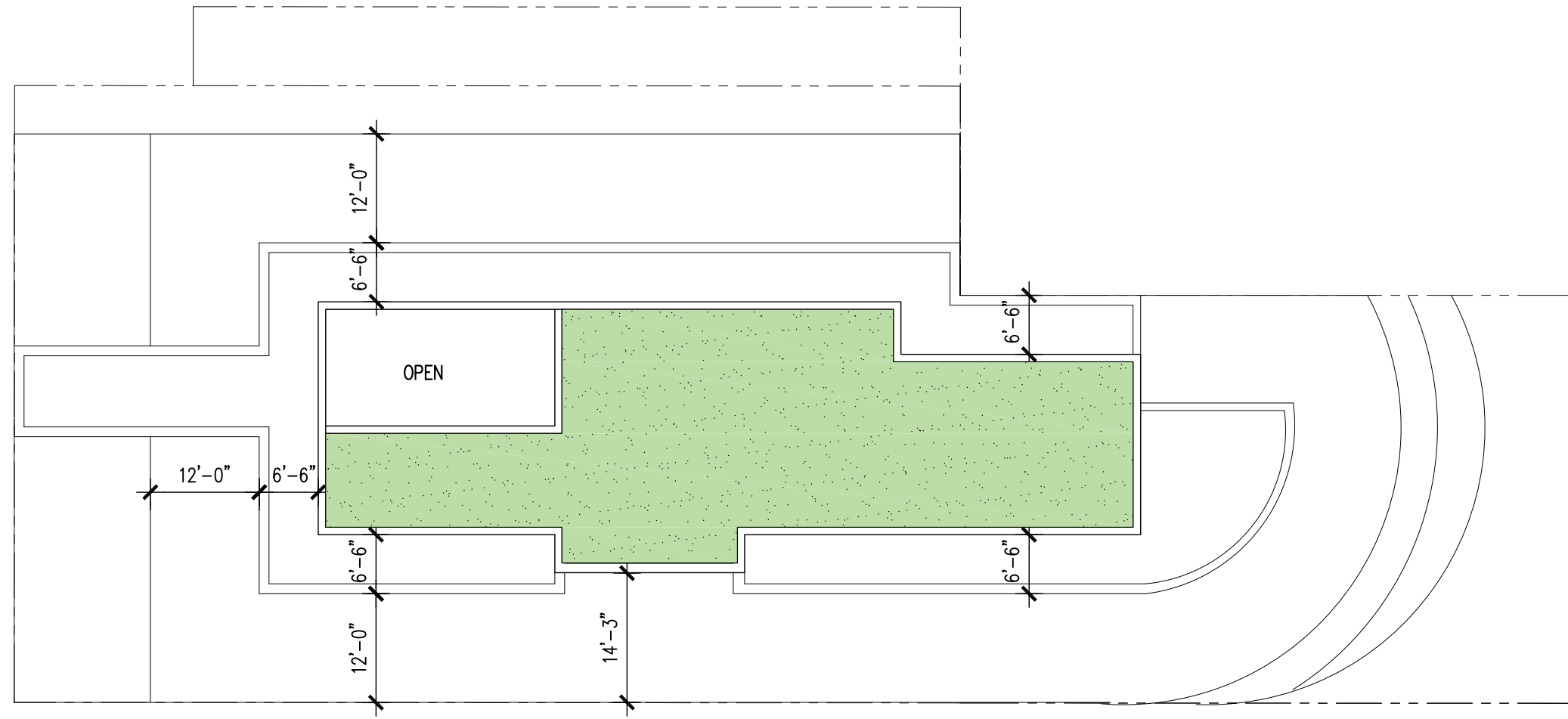


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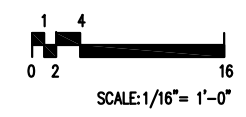
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J STREET
development
1025 THOMAS JEFFERSON ST
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WEST ELEVATION (CONGRESS STREET)
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JUNE 7, 2016 - PUD SUBMISSION

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A4.01

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NORTH ELEVATION

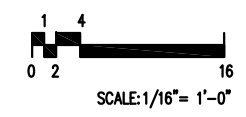


SOUTH (L STREET) ELEVATION



J STREET
development
1025 THOMAS JEFFERSON ST
WASHINGTON, DC 20007

EAST ELEVATION (ALLEY)
1109 CONGRESS STREET, NE
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TEL 202.857.4300

JUNE 7, 2016 - PUD SUBMISSION

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A4.03

WINDOWS:
METAL FRAME WITH PRE-FINISHED PAINT,
OPERABLE SASH, CLEAR LOW-E GLAZING, BLACK

WALL PANELS:
METAL PANEL, PRE-FINISHED PAINT, LIGHT GRAY

BELTCOURSE:
CAST STONE, LIGHT GRAY

RAILINGS:
METAL, BLACK OR GRAY

BRICK:
GOLDEN YELLOW WITH GRAY MORTAR

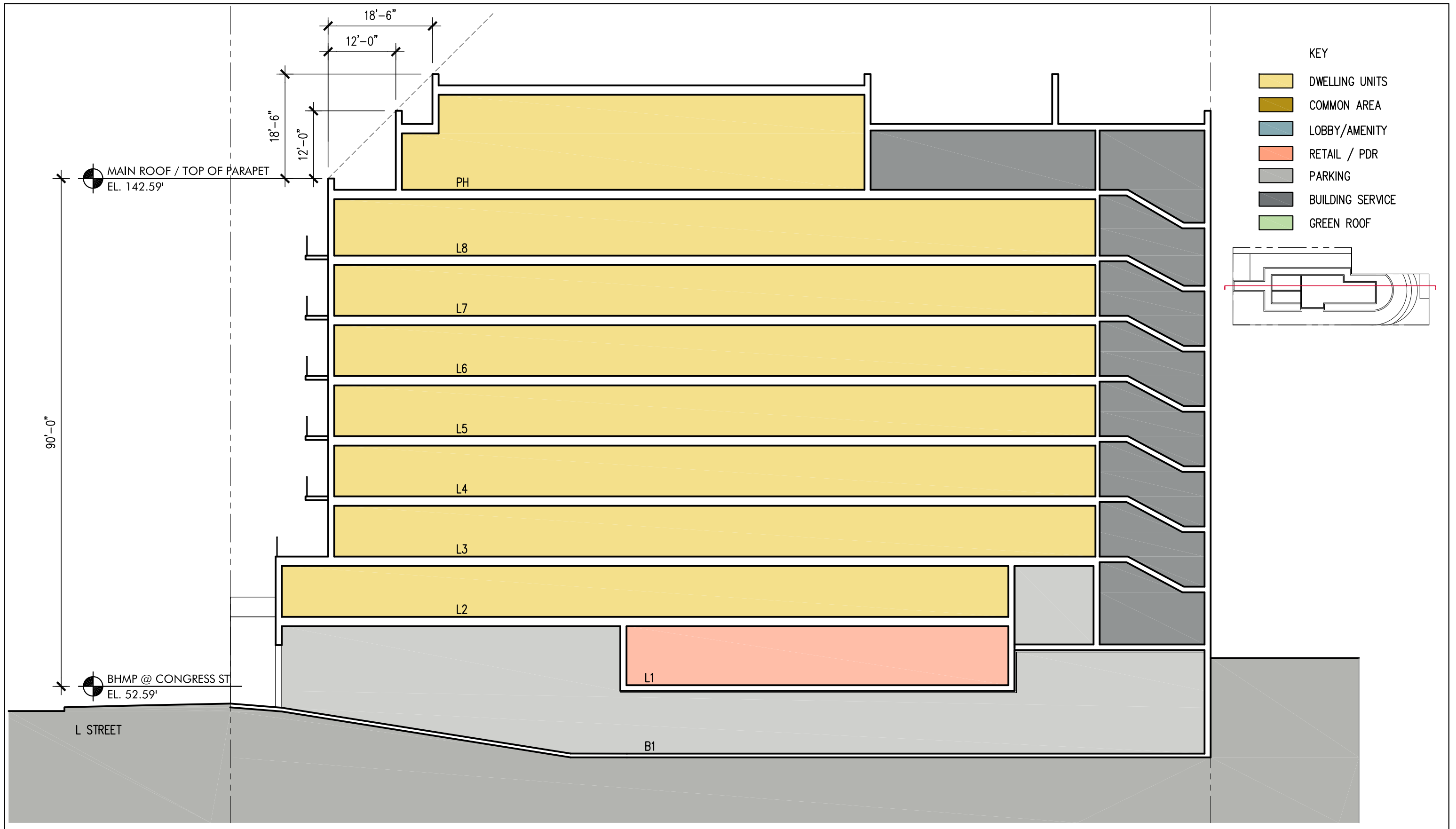
STOREFRONT:
METAL FRAME WITH PRE-FINISHED PAINT,
CLEAR LOW-E GLAZING, BLACK

BASE:
STONE, BLACK

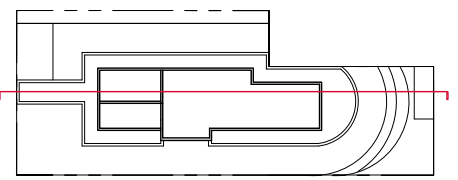


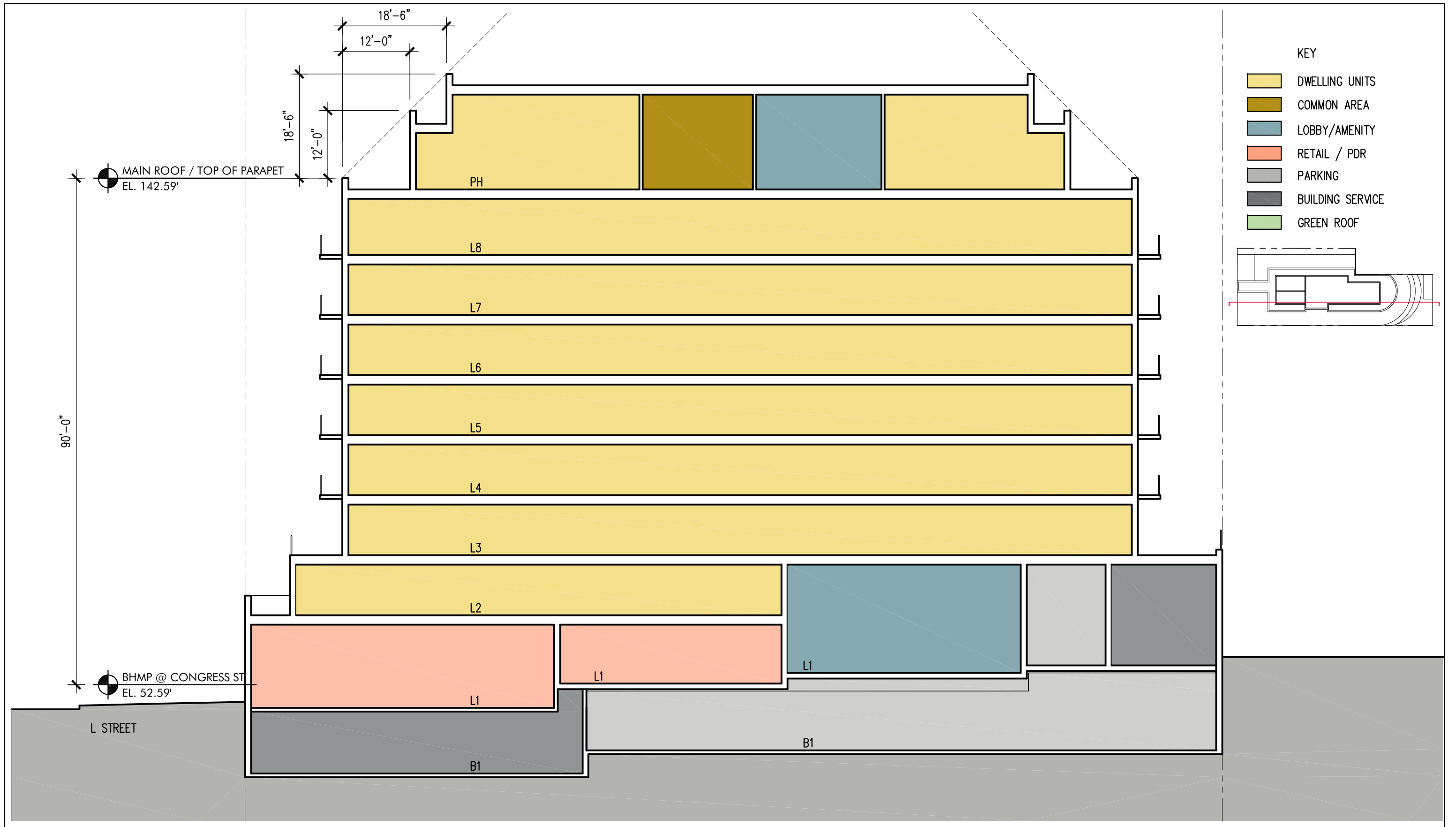
GENERAL NOTES:

1. Flexibility is requested to vary the final selection of exterior materials within the general material types proposed, based on availability at the time of construction. Quality of materials will not be reduced.
2. Ground floor retail bay elevations are illustrative & intended to describe the character & scale for the base of the building.
3. Residential exhaust vents to be integrated into final facade designs



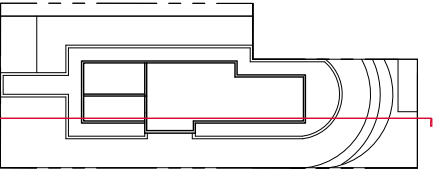
- KEY
- DWELLING UNITS
 - COMMON AREA
 - LOBBY/AMENITY
 - RETAIL / PDR
 - PARKING
 - BUILDING SERVICE
 - GREEN ROOF

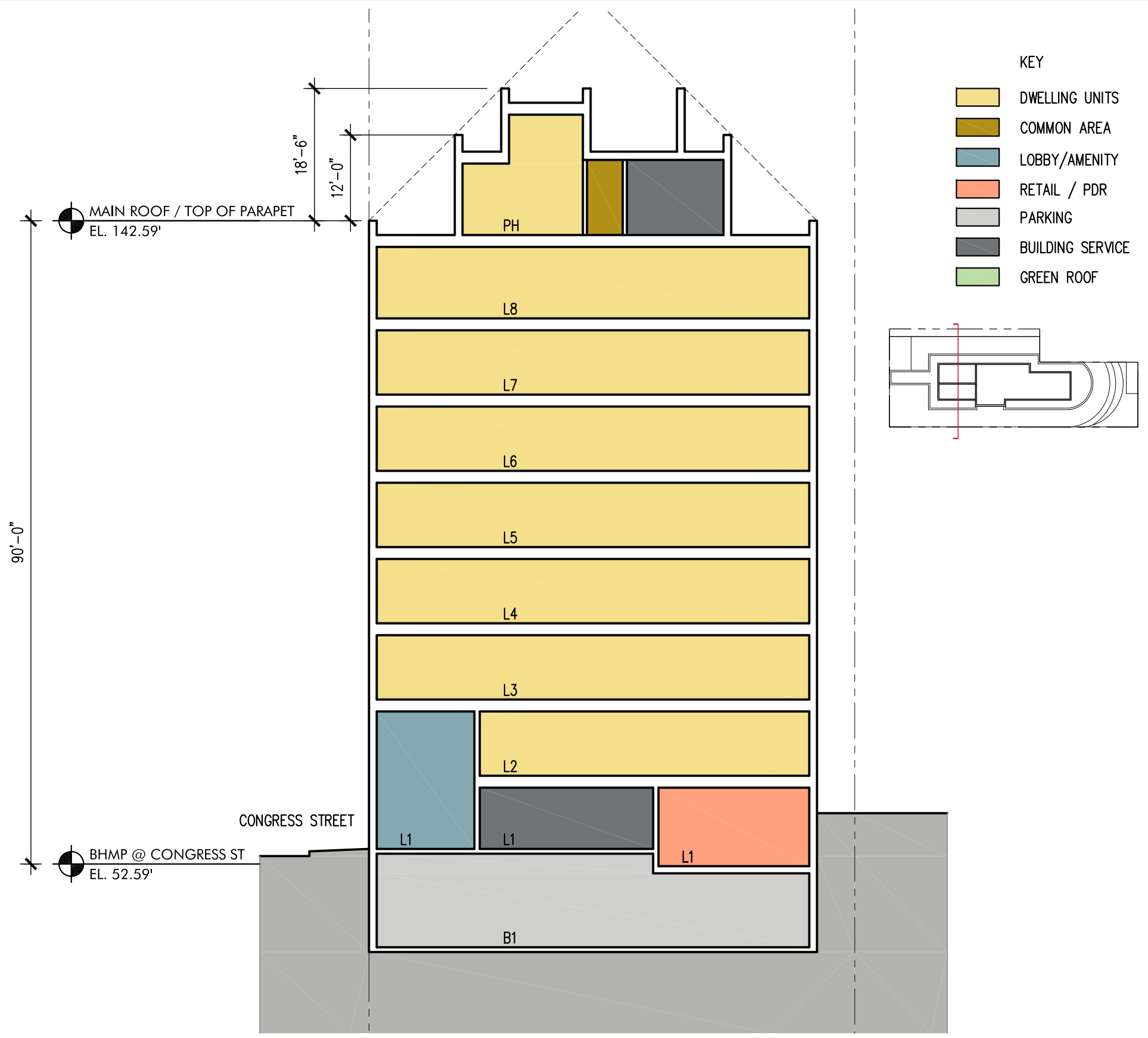




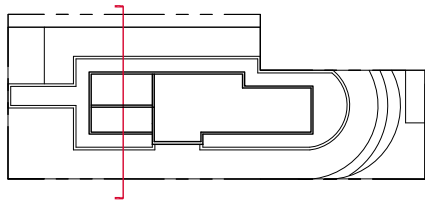
KEY

- DWELLING UNITS
- COMMON AREA
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- PARKING
- BUILDING SERVICE
- GREEN ROOF



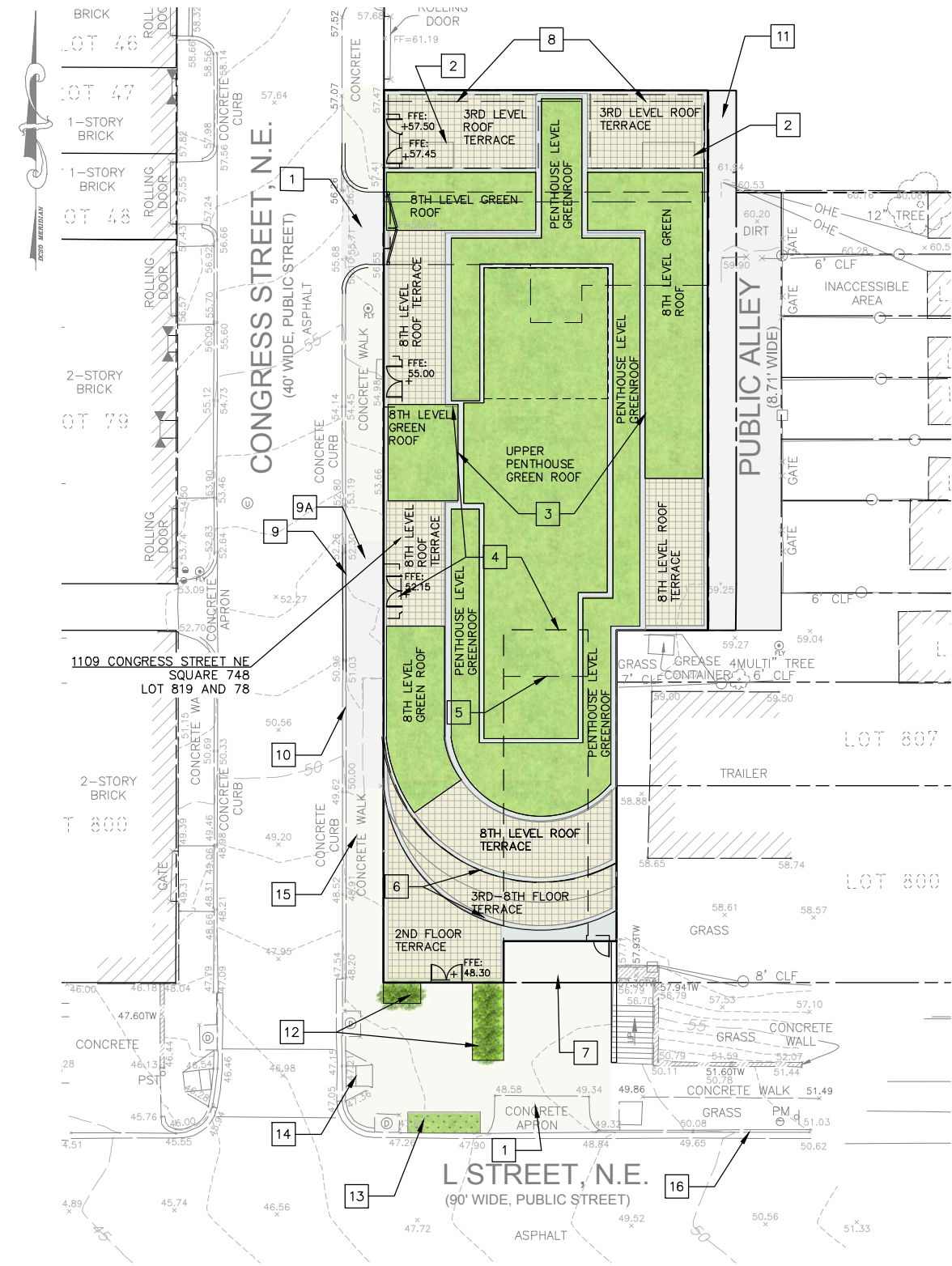


- KEY
- DWELLING UNITS
 - COMMON AREA
 - LOBBY/AMENITY
 - RETAIL / PDR
 - PARKING
 - BUILDING SERVICE
 - GREEN ROOF



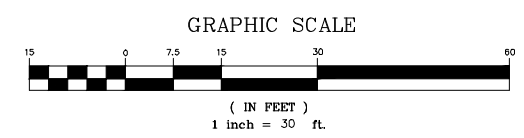
Green Area Ratio Scoresheet			
Address: 1109 Congress Street NE, Washington, DC		Ward: 6	Lot: 748
Other / BZA Order: _____		enter sq ft of lot: 6,472	multiplier: 0.50
Lot size (enter this value first): _____		SCORE: 0.50	
A	Landscaped areas (select one of the following for each area)	Square Feet	Factor
1	Landscaped areas with a soil depth of less than 24"	enter sq ft: 0	0.3
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft: 0	0.6
3	Bioretention facilities	enter sq ft: 0	0.4
B	Plantings (credit for plants in landscaped areas from section A)	enter sq ft: 0	0.2
1	Groundcovers, or other plants less than 2' tall at maturity	enter number of plants: 0	0.3
2	Plants, not including grasses, 2' or taller at maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants: 0	0.3
3	Tree canopy for all new trees 2.5" to 6" in diameter or equivalent - calculated at 50 sq ft per tree	enter number of trees: 0	0.5
4	Tree canopy for new trees 6" diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees: 0	0.8
5	Tree canopy for preservation of existing tree 6" to 12" in diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees: 0	0.7
6	Tree canopy for preservation of existing tree 12" to 18" in diameter or larger or equivalent - calculated at 600 sq ft per tree	enter number of trees: 0	0.7
7	Tree canopy for preservation of all existing trees 18" to 24" in diameter or equivalent - calculated at 1300 sq ft per tree	enter number of trees: 0	0.7
8	Tree canopy for preservation of all existing trees 24" in diameter or larger or equivalent - calculated at 2000 sq ft per tree	enter number of trees: 0	0.8
9	Vegetated wall, plantings on a vertical surface	enter sq ft: 0	0.6
C	Vegetated or "green" roofs	enter sq ft: 5,457	0.6
1	Over at least 2" and less than 8" of growth medium	enter sq ft: 0	0.8
2	Over at least 8" of growth medium	enter sq ft: 0	0.5
D	Permeable Paving***	enter sq ft: 0	0.4
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft: 0	0.5
2	Permeable paving over at least 24" of soil or gravel	enter sq ft: 0	0.2
E	Other	enter sq ft: 0	0.4
1	Enhanced tree growth systems***	enter sq ft: 0	0.5
2	Renewable energy generation	enter sq ft: 0	0.2
3	Approved water features	enter sq ft: 0	0.1
F	Bonuses	sub-total of sq ft = 5,457	0.1
1	Native plant species	enter sq ft: 0	0.1
2	Landscaping in food cultivation	enter sq ft: 0	0.1
3	Harvested stormwater irrigation	enter sq ft: 0	0.1
Green Area Ratio Calculator =		3.274	

*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.
 PER SITE ZONING OF C-2-B, REQUIRED GAR SCORE = 0.30



- KEYNOTES**
- 1 EXISTING CONCRETE DRIVEWAY
 - 2 LEVEL 4-8 TERRACE AREAS, TYP.
 - 3 LIMITS OF PENTHOUSE LEVEL, TYP.
 - 4 LIMITS OF GROUND LEVEL, TYP.
 - 5 LIMITS OF BASEMENT LEVEL
 - 6 LIMITS OF LEVEL 3 TO PENTHOUSE GROUND LEVEL TERRACE
 - 7 ENTRANCE TO UNDERGROUND GARAGE
 - 8 3RD STORY ROOF
 - 9 PROPOSED CONCRETE CURB, SEE SITE PLAN
 - 9A PROPOSED DDOT CONCRETE SIDEWALK, SEE SITE PLAN
 - 10 EXISTING CONCRETE CURB
 - 11 SITE PAVING ADJACENT TO ALLEY, SEE SITE PLAN
 - 12 LANDSCAPE AREA
 - 13 POSSIBLE STREETSIDE BIORETENTION IF NEEDED (BIKE RACKS TO BE RELOCATED)
 - 14 EXISTING ADA SIDEWALK RAMP
 - 15 EXISTING CONCRETE SIDEWALK
 - 16 EXISTING CONCRETE CURB AND GUTTER

GAR SUMMARY:
 GREEN ROOF, 2"-8" DEPTH: 5,457 SF
 *SEE PLANTING SCHEDULE AND GAR SCORE SHEET FOR MORE INFORMATION.



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LANDSCAPE PLAN
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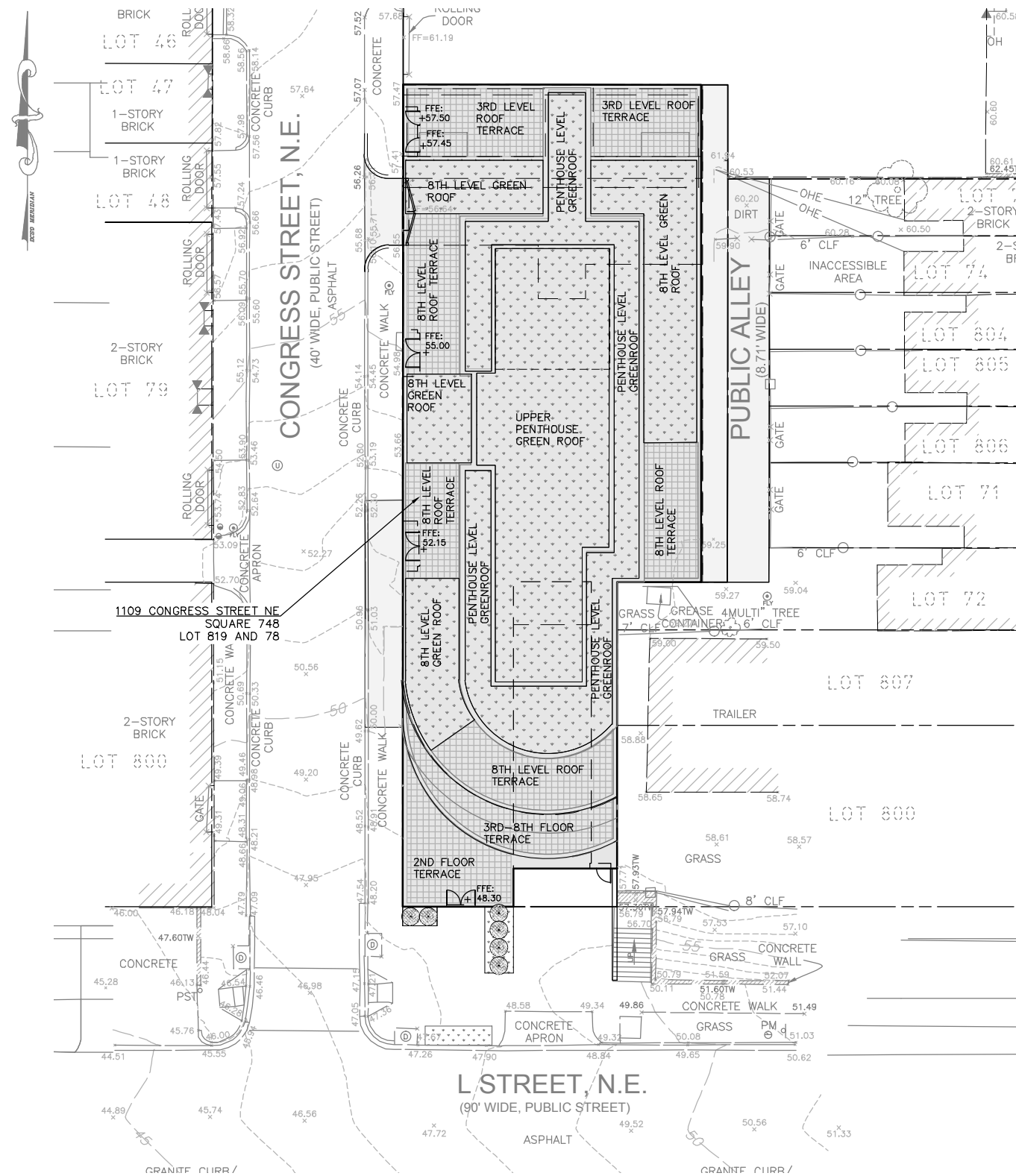
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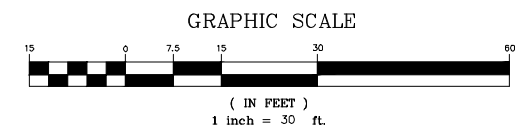


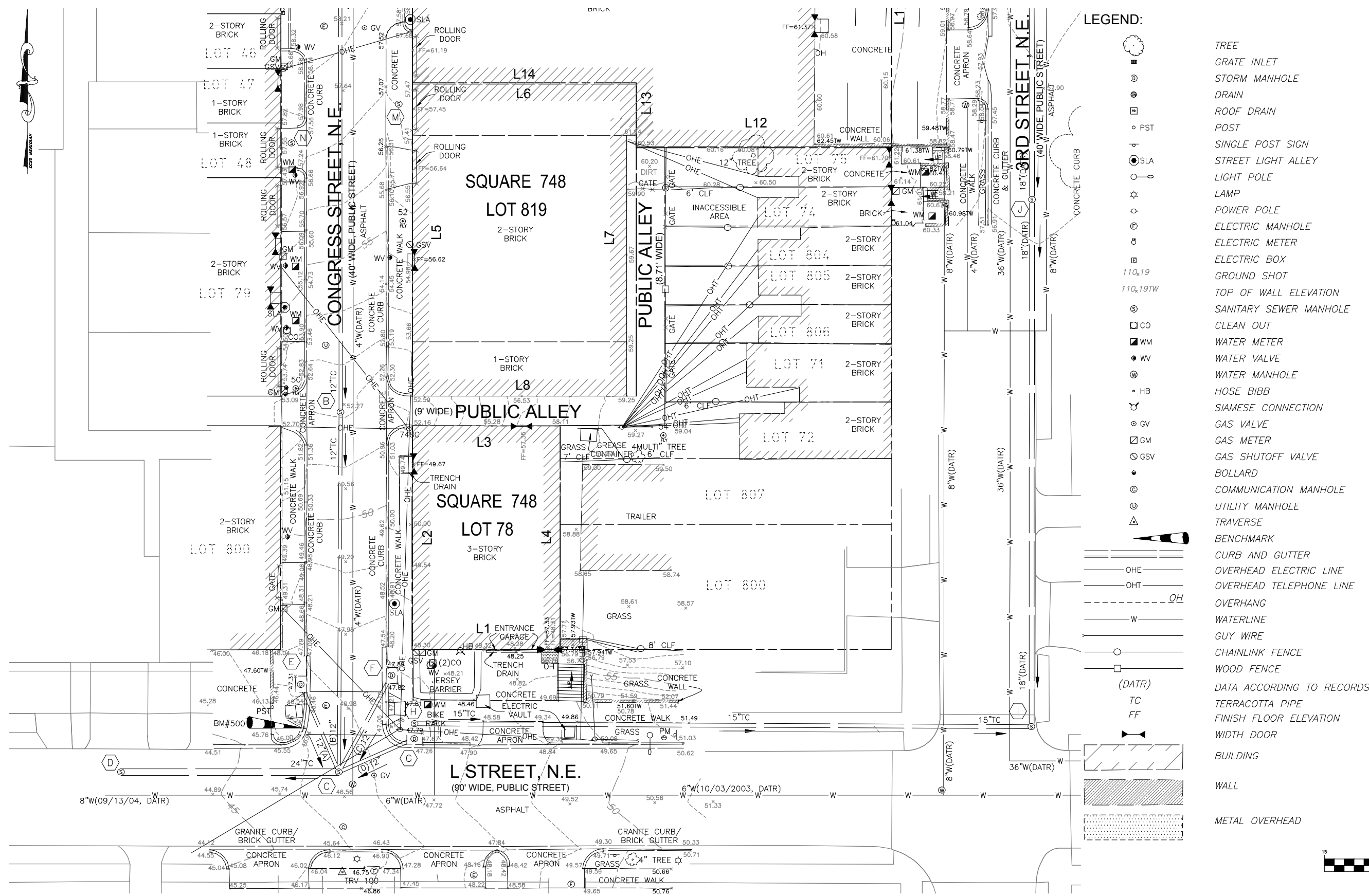
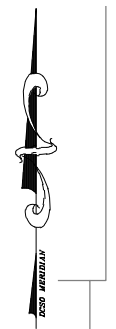
LANDSCAPE LEGEND

- PAVED AREA/CONCRETE WALK
- GREEN ROOF (SEE PLANT SCHEDULE BELOW)
- BUILDING
- BUILDING FACE BELOW
- POSSIBLE STREETSIDE BIORETENTION AREA

PLANT SCHEDULE

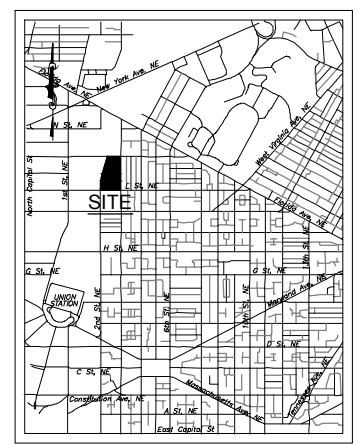
GREEN ROOF	CODE	QTY	BOTANICAL / COMMON NAME
	GR1	5,457 SF	PRE-GROWN SEDUM MATS WITH MINIMUM 7 SEDUM VARIETIES FROM THE FOLLOWING LIST. PROVIDE 75% EVERGREEN PLANTS. ALLIUM CERNUUM ALLIUM SCHOENOPRASUM, ALLIUM SENESCENS SP. MONTANUM VAR. GLAUCUM DELOSPERMA COOPERI, DELOSPERMA NUBIGENUM DIANTHUS CARTHUSIANORUM PHEDIMUS TAKESIMENSIS 'GOLDEN CARPET' SEDUM ACRE SEDUM AIZOON 'EUPHORBIODES' SEDUM ALBUM, SEDUM ALBUM 'MURALE' SEDUM HYBRIDUM 'IMMERGRUNCHEN' SEDUM KAMTSCHATICUM SEDUM KAMTSCHATICUM VAR. FLORIFERUM 'WEIHENSTEPHANER GOLD' SEDUM PULCHELLUM SEDUM REFLEXUM 'BLUE SPRUCE' SEDUM RUPESTRE 'ANGELINA' SEDUM SIEBOLDII SEDUM SEXANGULARE SEDUM SPURIUM 'FULDAGLUT' AND OTHER CULTIVARS TALINUM CALYCIUM
	AG	6	ABELIA X GRANDIFLORA, GLOSSY ABELIA, 3 GAL.



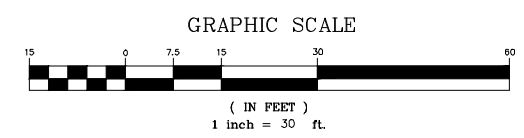


LEGEND:

- TREE
- GRATE INLET
- STORM MANHOLE
- DRAIN
- ROOF DRAIN
- POST
- SINGLE POST SIGN
- STREET LIGHT
- LIGHT POLE
- LAMP
- POWER POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC BOX
- GROUND SHOT
- TOP OF WALL ELEVATION
- SANITARY SEWER MANHOLE
- CLEAN OUT
- WATER METER
- WATER VALVE
- WATER MANHOLE
- HOSE BIBB
- SIAMESE CONNECTION
- GAS VALVE
- GAS METER
- GAS SHUTOFF VALVE
- BOLLARD
- COMMUNICATION MANHOLE
- UTILITY MANHOLE
- TRAVERSE
- BENCHMARK
- CURB AND GUTTER
- OVERHEAD ELECTRIC LINE
- OVERHEAD TELEPHONE LINE
- OVERHANG
- WATERLINE
- GUY WIRE
- CHAINLINK FENCE
- WOOD FENCE
- DATA ACCORDING TO RECORDS
- TERRACOTTA PIPE
- FINISH FLOOR ELEVATION
- WIDTH DOOR
- BUILDING
- WALL
- METAL OVERHEAD



VICINITY MAP
NOT TO SCALE



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EXISTING CONDITIONS PLAN
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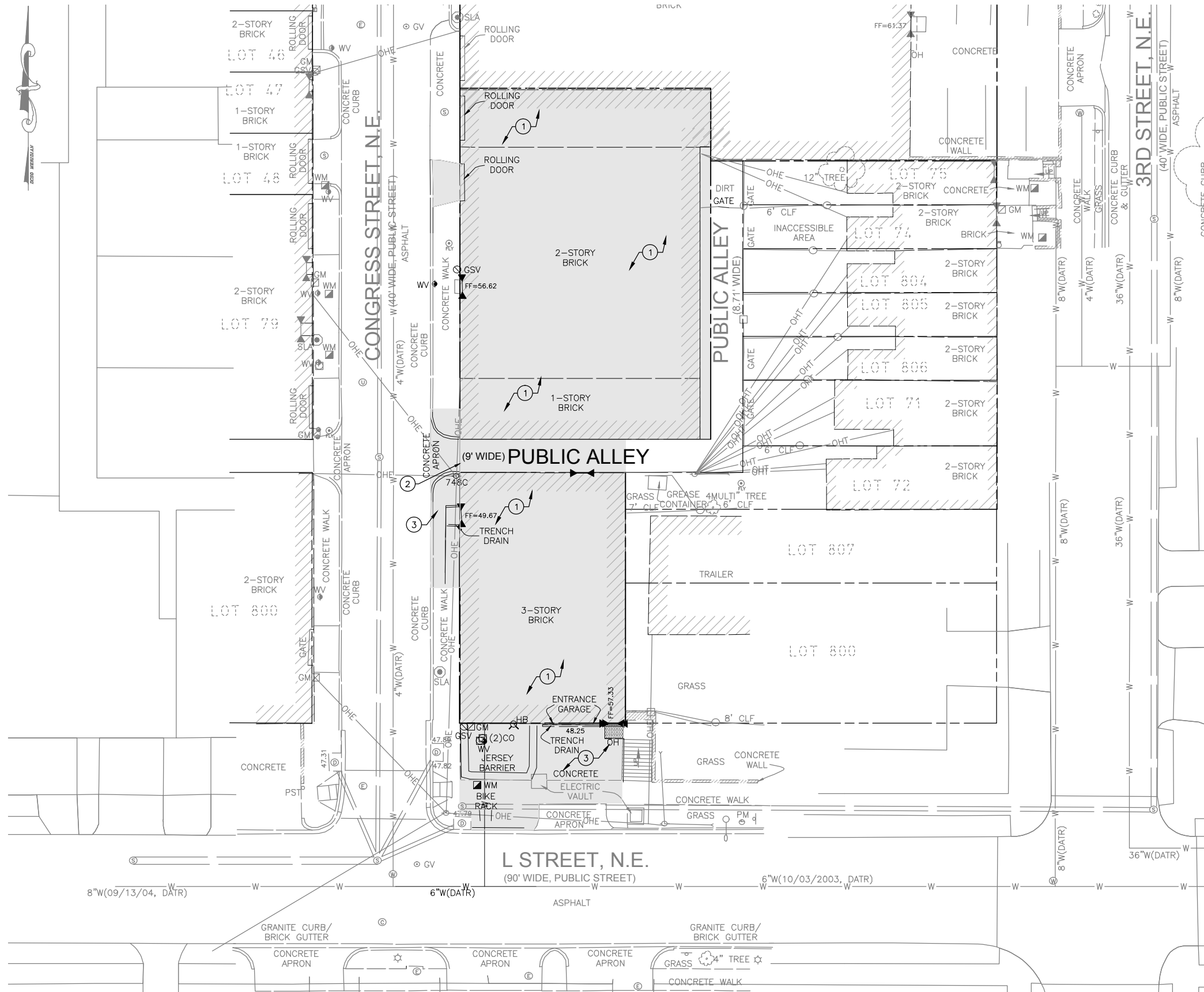
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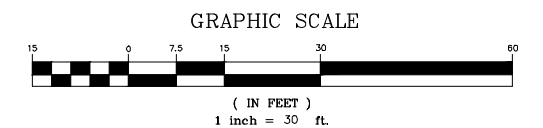


SITE DEMOLITION PLAN

- ① EXISTING BUILDING TO BE DEMOLISHED
- ② PUBLIC ALLEY TO BE CLOSED
- ③ DEMOLISH SURFACE FEATURES

SITE DEMOLITION LEGEND

APPROX. LIMITS OF DEMOLITION



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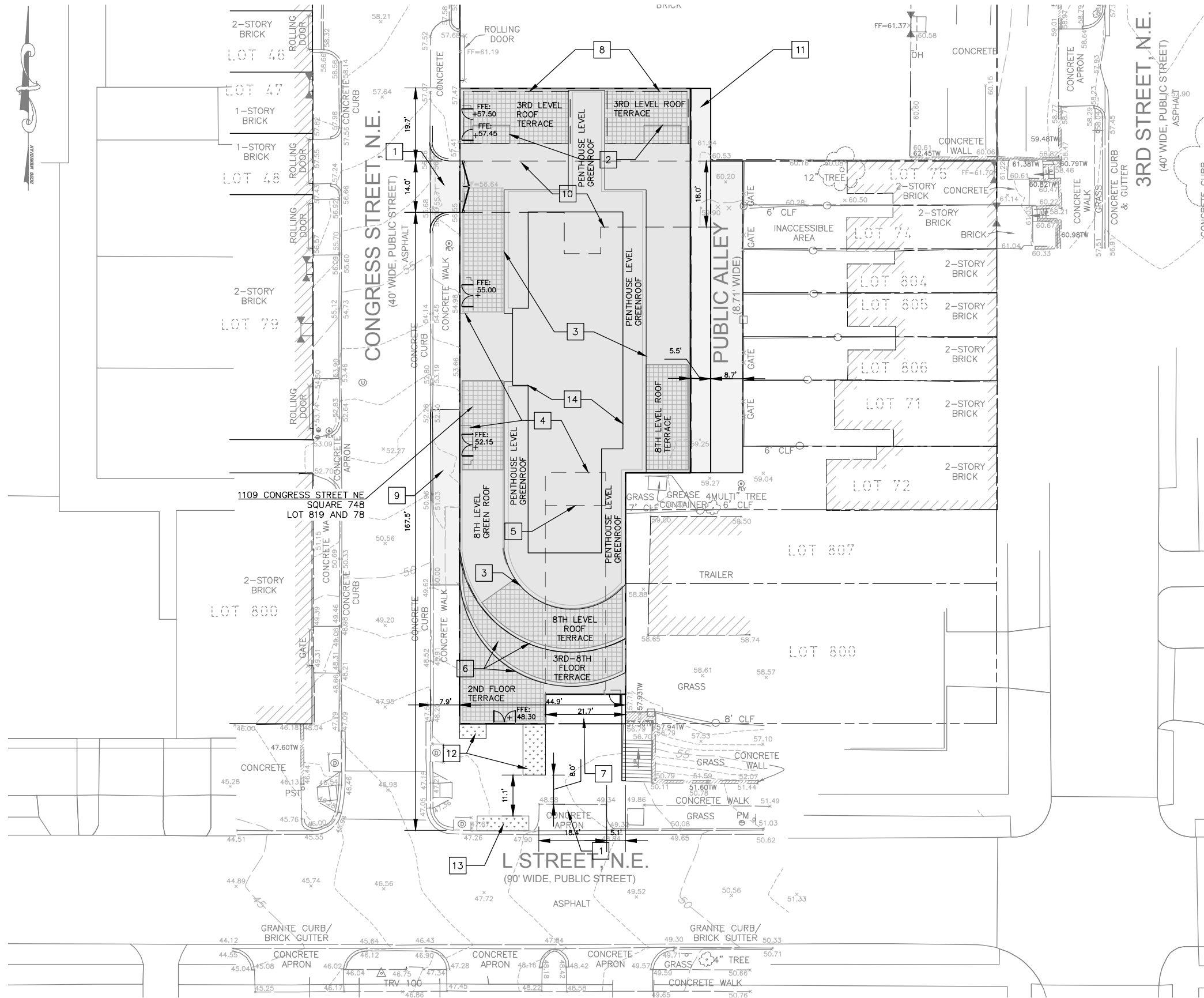
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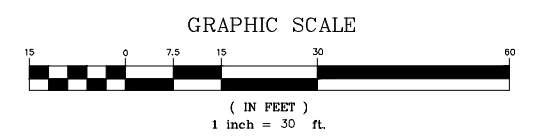


SITE PLAN LEGEND

- LANDSCAPED AREA
- PAVED AREA/CONCRETE WALK
- BUILDING
- ROOF TERRACE

SITE PLAN

- 1 EXISTING CONCRETE ENTRANCE DRIVEWAY TO BE REUSED (DDOT STD.).
- 2 LEVEL 4-8 TERRACE AREAS, TYP.
- 3 PENTHOUSE LEVEL, TYP.
- 4 GROUND LEVEL, TYP.
- 5 BASEMENT LEVEL
- 6 LEVEL 3-8 TERRACE
- 7 ENTRANCE TO UNDERGROUND GARAGE
- 8 3RD STORY ROOF TERRACE
- 9 ALLEY ENTRANCE TO BE CLOSED AND REPLACED WITH SIDEWALK & CONC. CURB
- 10 LIMITS OF PUBLIC ALLEY ACCESS THROUGH BUILDING
- 11 SITE PAVING ADJACENT TO & INCLUDING ALLEY
- 12 LANDSCAPED AREA
- 13 CURBSIDE BIORETENTION, AS REQUIRED
- 14 UPPER PENTHOUSE LEVEL



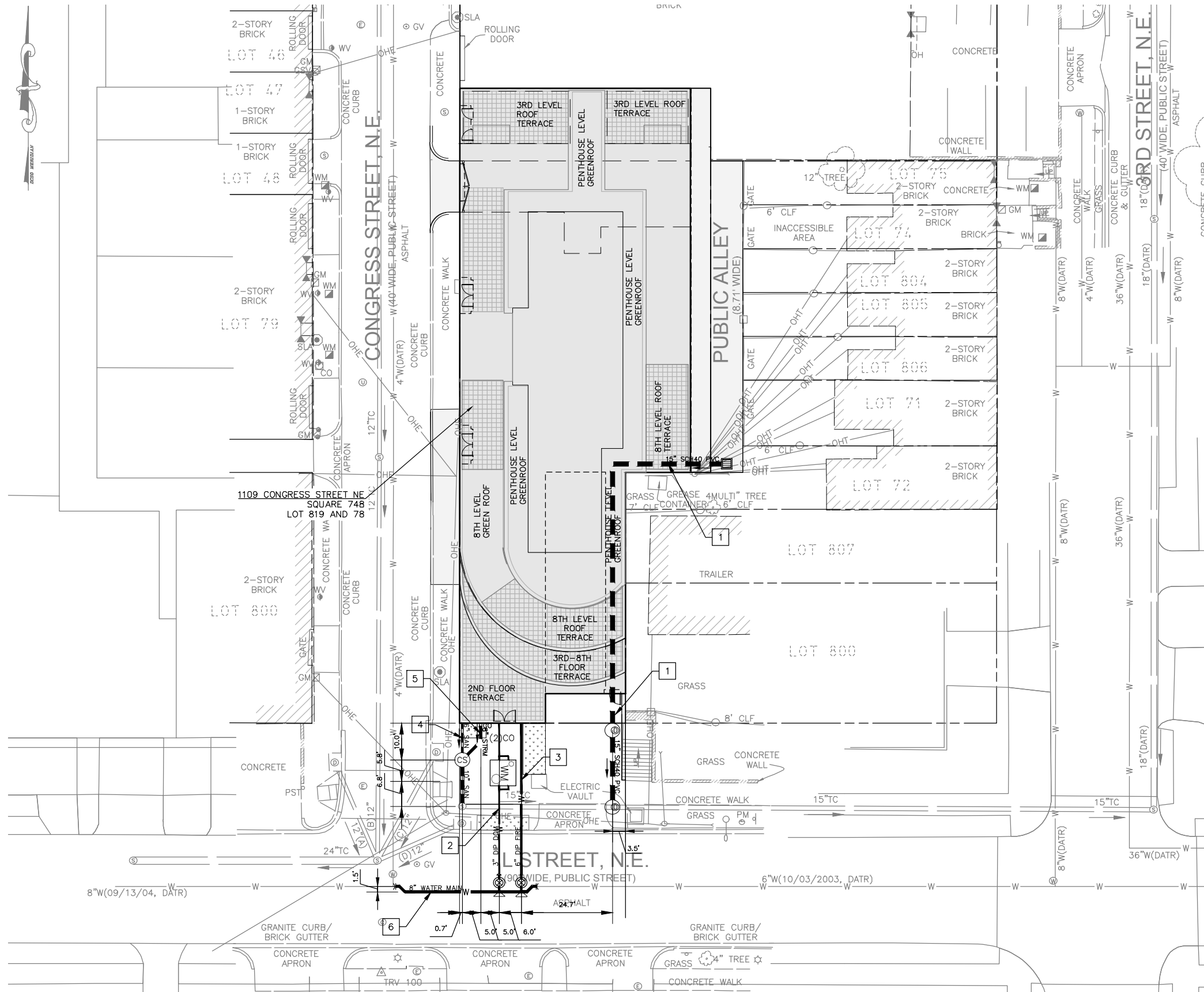
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SITE PLAN LEGEND

- PAVED AREA/CONCRETE WALK
- BUILDING
- ROOF TERRACE

UTILITY PLAN LEGEND

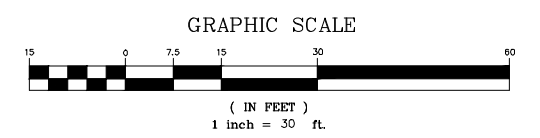
- COMBINED SEWER CONCRETE MANHOLE
- STORM SEWER
- WATER METER VAULT
- WATER VALVE
- 3" DOMESTIC LINE
- 6" FIRE LINE
- CLEANOUT
- 6" PVC SANITARY SEWER
- ALLEY STORM INLET
- STORM MANHOLE

CONCEPT UTILITY PLAN

- 1 PUBLIC ALLEY STORM INLET & 15" SCH40 PVC THROUGH BUILDING TO COMBINED SEWER ON L STREET NE
- 2 3" DIP DOMESTIC WATER SERVICE:
8"X6" DIP TEE W/ CONCRETE TRUST BLOCK
6" GATE VALVE AND CASING
6" X 3" DIP REDUCER
3" DOMESTIC WATER METER & VAULT
3" DIP LATERAL CONNECTION TO BUILDING
- 3 6" DIP FIRE SERVICE:
8" X 6" DIP TEE W/ THRUST BLOCK
6" GATE VALVE & CASING
6" DIP LATERAL CONNECTION TO BUILDING
- 4 6" PVC SANITARY SEWER SERVICE:
6" PVC LATERAL CONNECTION TO BUILDING
CONCRETE CLEANOUT MANHOLE
10" PVC LATERAL
10" CONNECTION TO EXISTING MANHOLE
- 5 8" PVC STORM SERVICE:
8" PVC LATERAL CONNECTION TO BUILDING
8" STORM CLEANOUT
8" PVC LATERAL
8" CONNECTION TO 48" MANHOLE
- 6 8" WATER MAIN REPLACEMENT W/ 8" DIP SLEEVE

UTILITY NOTES:

PROPOSED UTILITY DESIGN IS SCHEMATIC AND SUBJECT TO FINAL DESIGN AND AGENCY/ UTILITY REVIEW. UTILITY LOCATIONS AND SIZES SHOWN ARE APPROXIMATE.



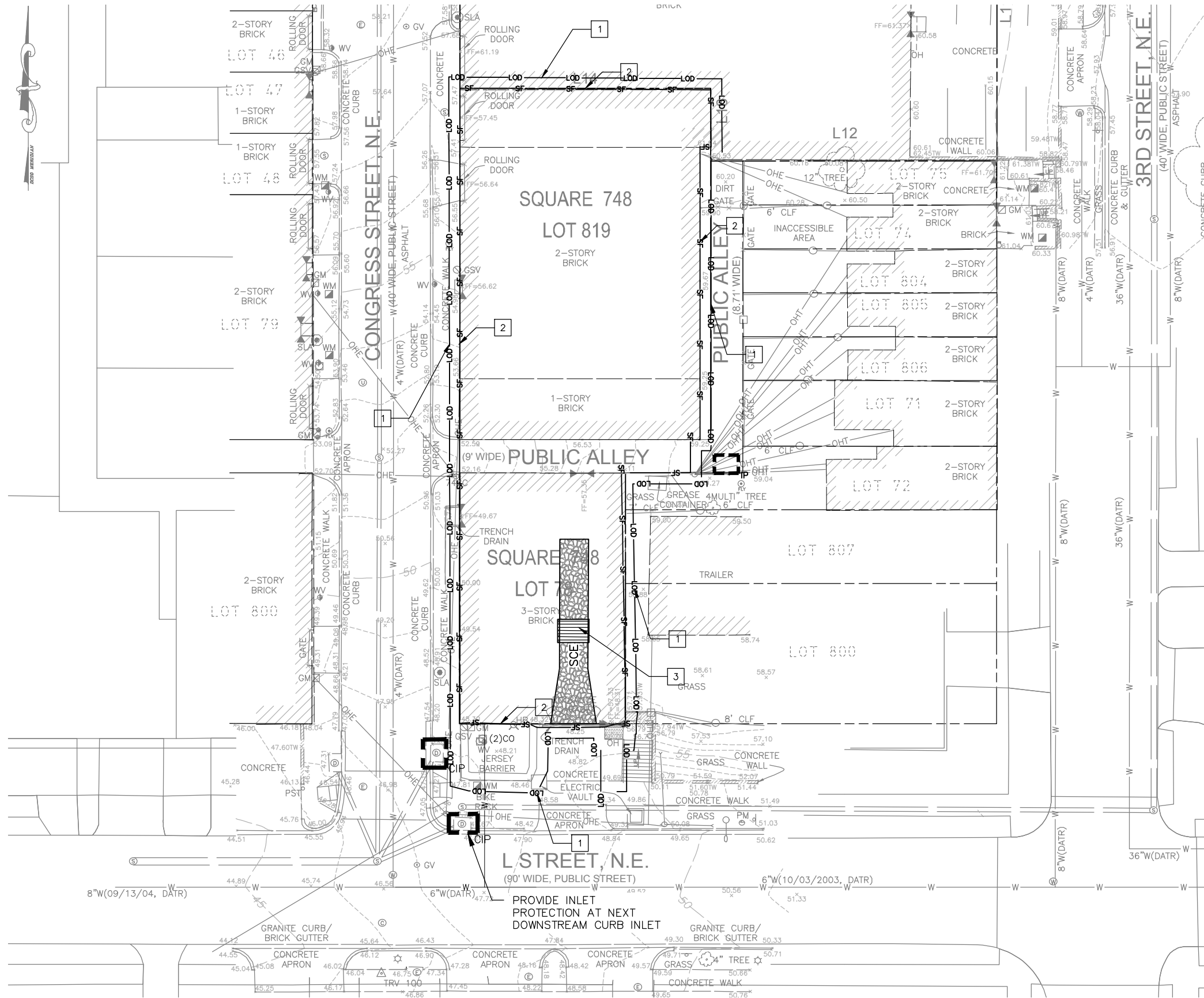
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CONCEPT SEDIMENT CONTROL PLAN KEYNOTES

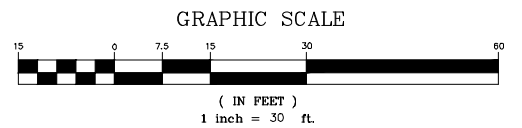
- 1 LIMITS OF DISTURBANCE, TYP. SHOWN AT OFFSET FOR GRAPHICAL PURPOSES
- 2 SILT FENCE TO BE LOCATED AT THE PROPERTY LINE
- 3 CONSTRUCTION ENTRANCE

SEDIMENT CONTROL PLAN LEGEND

- CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE
- SILT FENCE
- CIP
- IP

SITE TABULATION:

LOT AREA = 10,144 SF
 BUILDING AREA = 8,091 SF
 DISTURBED AREA = 10,300



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SEDIMENT CONTROL PLAN

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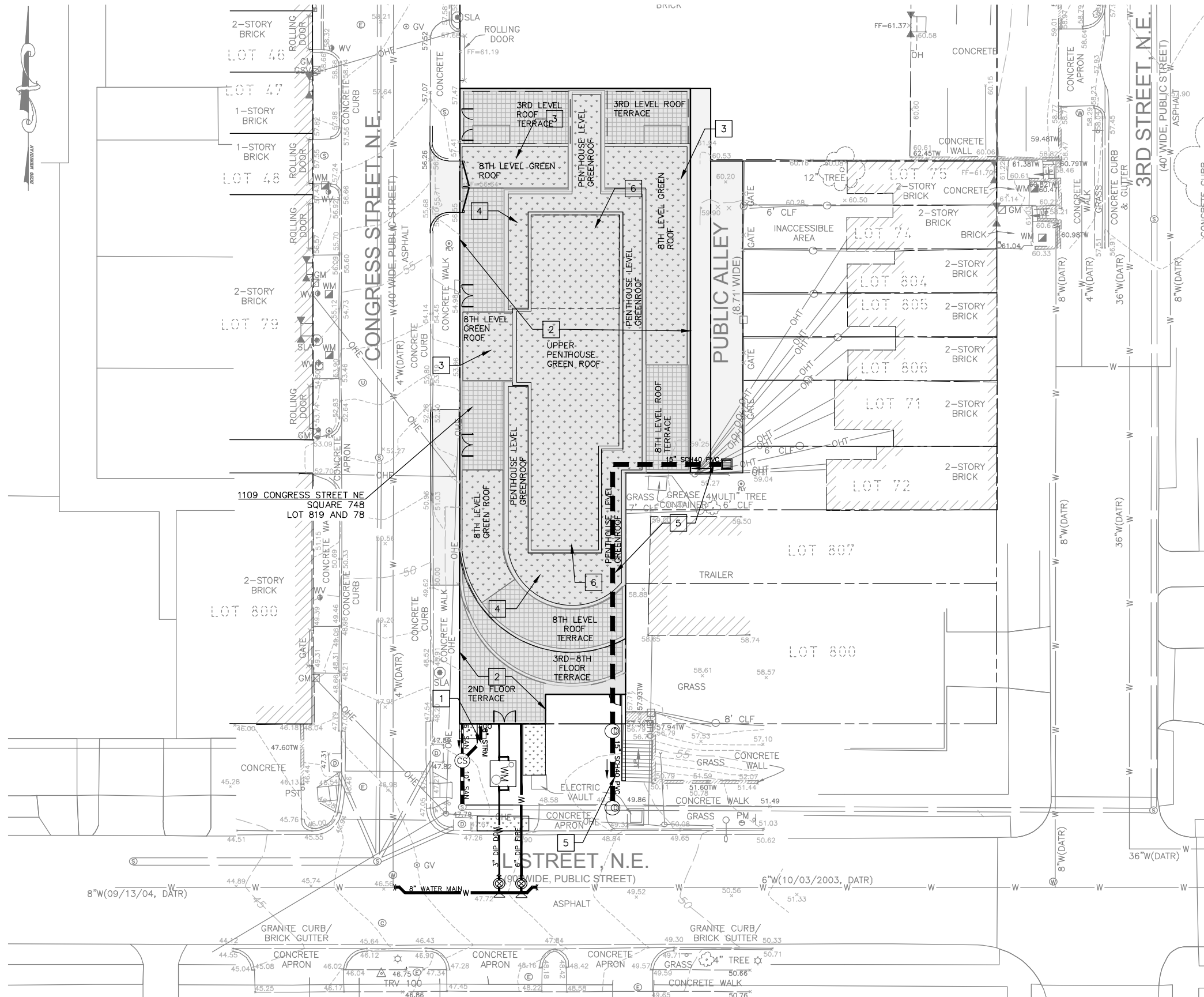
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UTILITY PLAN LEGEND

- COMBINED SEWER CONCRETE MANHOLE
- STORM SEWER
- WATER METER VAULT
- WATER VALVE
- 3" DOM DOMESTIC LINE
- 6" FIRE FIRE LINE
- CLEANOUT
- 6" PVC SANITARY SEWER
- ALLEY STORM INLET
- STORM MANHOLE

SITE PLAN LEGEND

- PAVED AREA/CONCRETE WALK
- GREEN ROOF
- BUILDING
- ROOF TERRACE

CONCEPT STORMWATER MANAGEMENT PLAN

- 1 8" PVC STORM SEWER CONNECTION TO COMBINED SEWER MANHOLE
- 2 LIMITS OF BUILDING
- 3 8TH STORY GREEN ROOF, TYP.
- 4 PENTHOUSE GREEN ROOF, TYP.
- 5 PUBLIC SPACE INLET & 15" SCH40 PVC FROM PUBLIC ALLEY, THROUGH BUILDING, TO 15" COMBINED SEWER ON L STREET NE
- 6 UPPER PENTHOUSE GREEN ROOF, TYP.

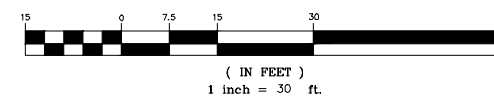
STORMWATER MANAGEMENT NARRATIVE

STORMWATER MANAGEMENT AND GREEN AREA RATIO REQUIREMENTS WILL BE MET WITH A PROPOSED GREEN ROOF. PUBLIC SPACE STORMWATER MANAGEMENT WILL BE MET BY LID MEASURES AS OUTLINED IN THE DDOT GREEN INFRASTRUCTURE STANDARDS MANUAL. AN 8" STORM DRAIN WILL CONNECT TO THE EXISTING 15" COMBINED SEWER MAIN IN L STREET, NE.

STORMWATER MANAGEMENT SUMMARY

IMPERVIOUS AREA, A_I = 10,144 SF
 SWRV REQUIRED = 1.2"/12' X (A_I X R_I)
 ON SITE SWRV REQUIRED: 964 CF
 EXISTING ZONE: C-M-1

GRAPHIC SCALE



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STORMWATER MANAGEMENT PLAN

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LEGEND

PEDESTRIAN ENTRY



SERVICE/LOADING ENTRY



ALLEY EASEMENT



GARAGE ENTRY

